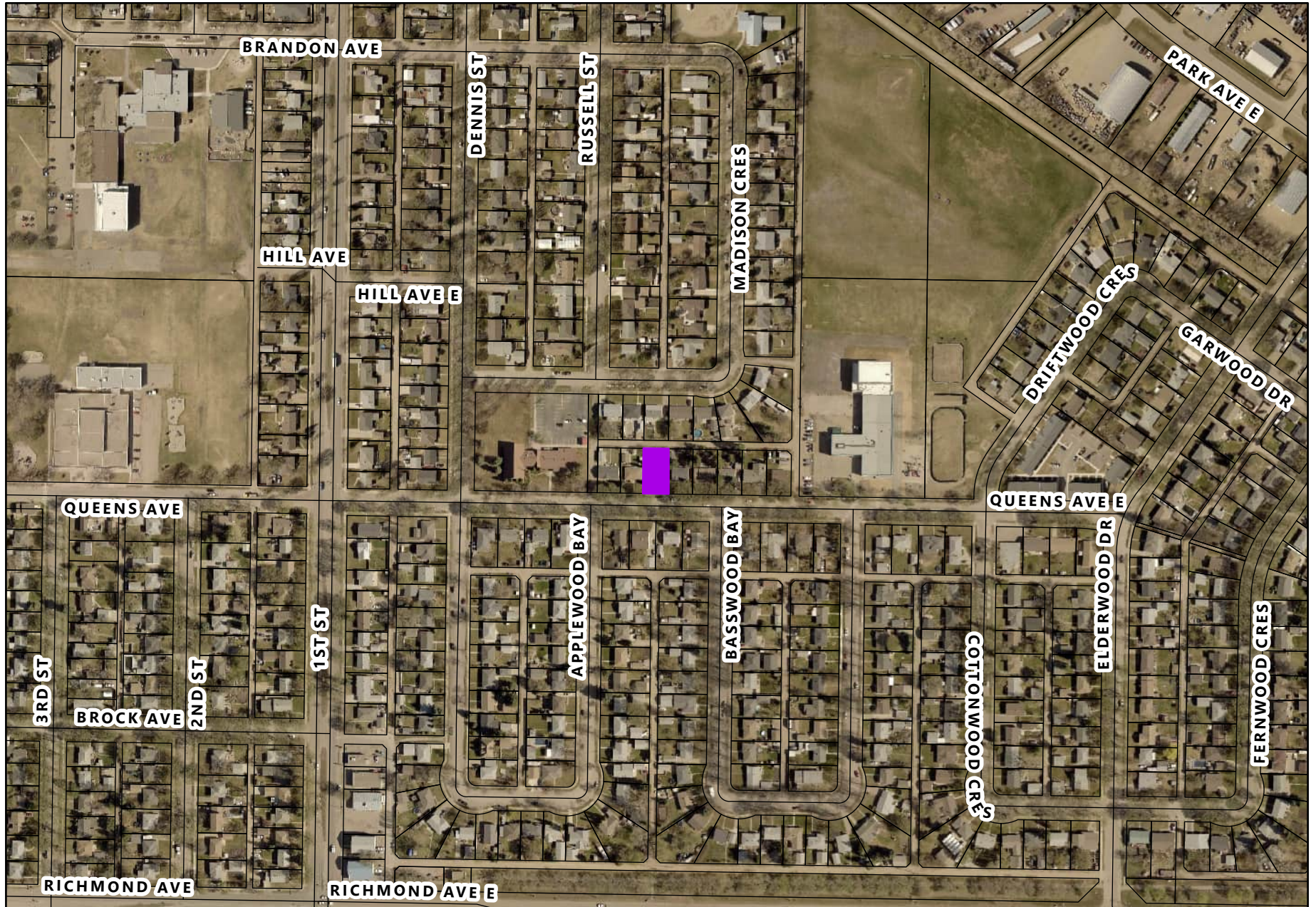


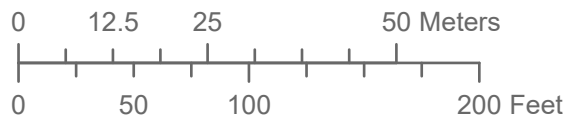
Conditional Use Application C-04-23 - 225 Queens Avenue East



Conditional Use Application



Conditional Use Application C-04-23
 225 Queens Avenue East
 Lot 1 Plan 70615 BLTO
 In SW 1/4 13-10-19 WPM



LEGEND

 Affected Lot

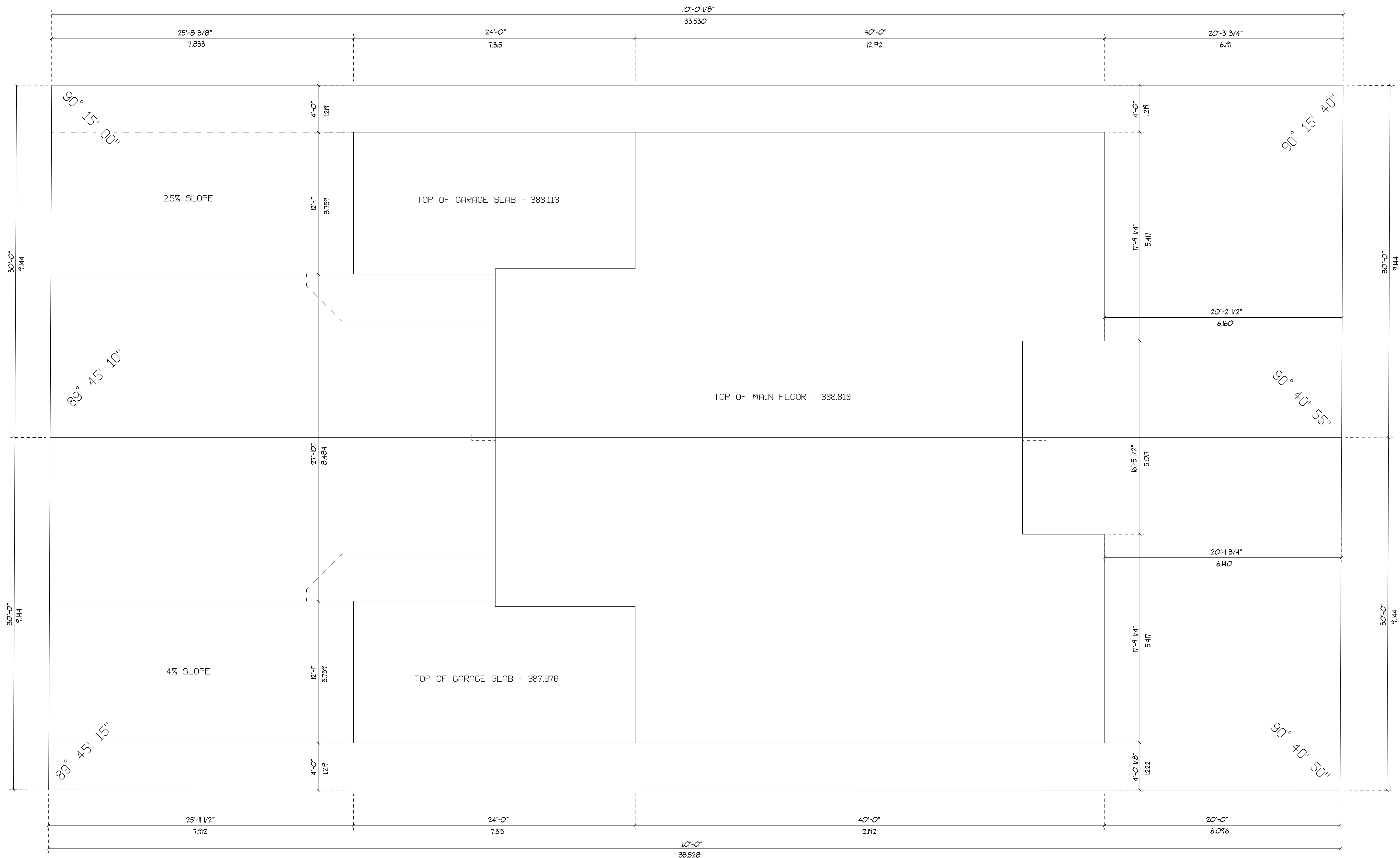
**Planning & Buildings
 Department**



Map Created: 05/5/2023
 Revised:

PUBLIC LANE

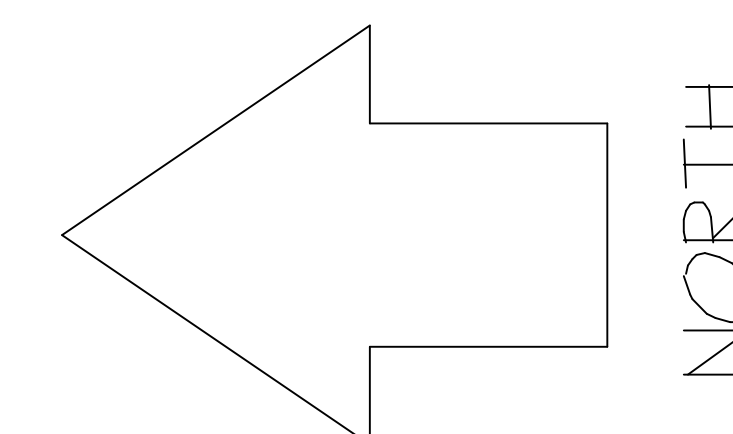
QUEENS AVENUE



#225 QUEENS AVENUE EAST
 BRANDON MANITOBA
 AND BEING
 LOT 151 PLAN 952
 (LOTS 1&2, DEP. 1171/20 BLTO)

FLOOR AREA PER UNIT - 1154 SQ.FT. (107.21 SQ.M.)
 TOTAL FLOOR AREA - 2308 SQ.FT. (214.42 SQ.M.)

BOTTOM OF FOOTINGS - 387.050



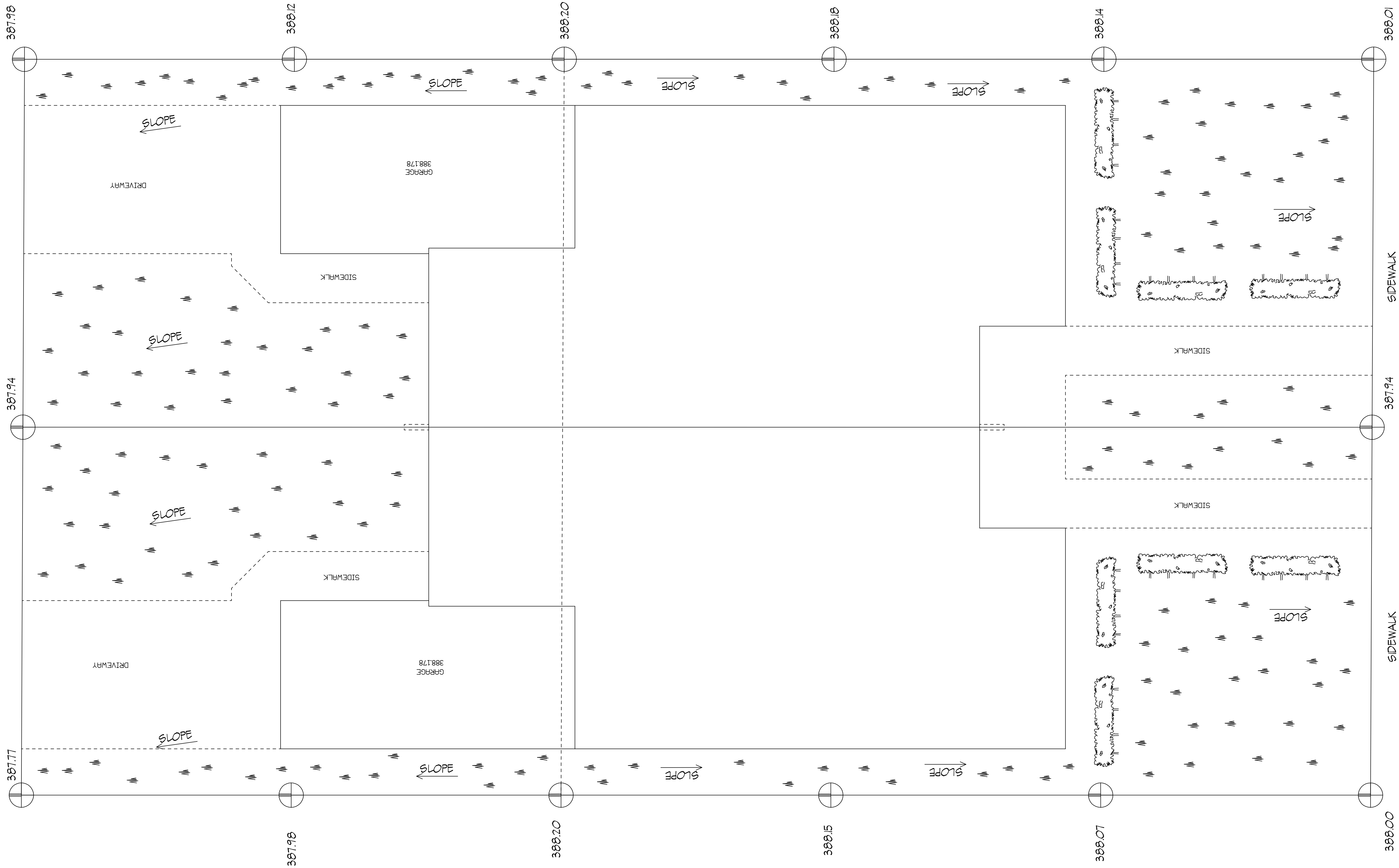
TBM PLACED ON TOP NUT HYDRANT AT QUEENS AND BASSWOOD - ELEV=388.57

CUSTOMER : CONTRACTORS CORNER
 DATE: MARCH 27/23
 006-23 REV #1: X
 DRAWN BY : KCS REV #2: X

K & P
 DRAFTING
 161 POWELL CRESENT S.
 BOX 861
 SOURIS, MANITOBA
 R2K-208

PUBLIC LANE

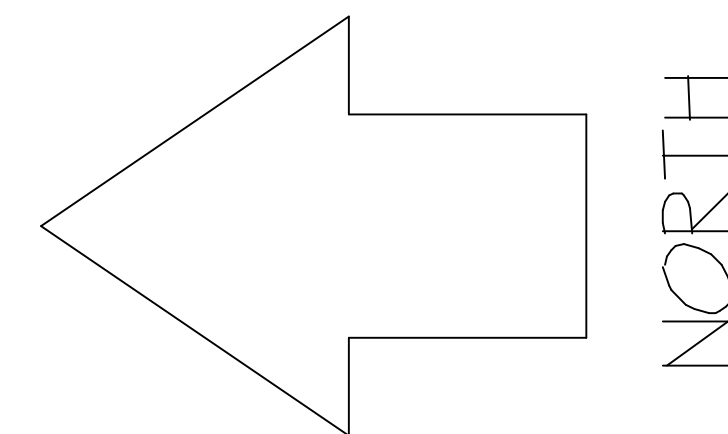
QUEENS AVENUE



LOT GRADING/BUILDING ELEVATION PLAN
 SCALE: 1/4" = 1'-0"

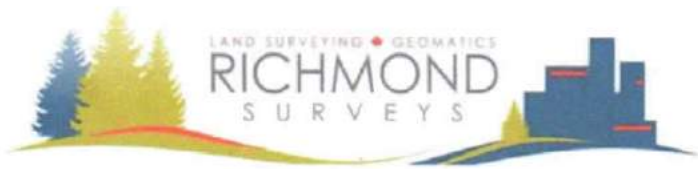
#225 QUEENS AVENUE EAST
 BRANDON MANITOBA
 AND BEING
 LOT 151 PLAN 952
 (LOTS 1&2, DEP. 1171/20 BLTO)

FLOOR AREA PER UNIT - 1154 SQ.FT. (107.21 SQ.M.)
 TOTAL FLOOR AREA - 2308 SQ.FT. (214.42 SQ.M.)



CUSTOMER : CONTRACTORS CORNER
 DATE : MARCH 27/23
 006-23 REV #1 : X
 DRAWN BY : KCS REV #2 : X

K & P
 DRAFTING
 161 POWELL CRESENT S.
 BOX 861
 SOURIS, MANITOBA
 R2K-200



1102 Rosser Avenue
Brandon, Manitoba, R7A 0L7
Tel: (204) 761-0178

102 Saskatchewan Avenue East
Portage la Prairie, Manitoba, R1N 0L1
Tel: (204) 856-0178

Certificate prepared for:

Date: May 4, 2022
Project File No. 220116

Contractor's Corner
408 Park Avenue East
Brandon MB
R7A 7A8

Attention: Geoff Gregoire

**RE: MANITOBA LAND SURVEYORS STAKING & BUILDING LOCATION CERTIFICATE
#225 QUEENS AVENUE EAST, BRANDON, MANITOBA**

Certificate of Title No. : 3075688

Registered Owner(s) : Concor Homes Ltd.

Legal Description : Lot 151 Plan 952 BLTO
Exc all mines and minerals as set forth in Transfer R16762
In SW 1/4 13-10-19 WPM

Encumbrances : There are no active instruments registered against the above mentioned title

As requested, this is to certify that we have made the necessary measurements to determine the location of a garage and shed, on the North side of Queens Avenue, in the City of Brandon, Manitoba and find the same to be within the limits of the above described land.

As requested, this is to certify we have staked or installed survey monuments at all corners of the above mentioned property

Refer to Sketch - Page 2 of 2

There are no encroachments above ground level onto the above described land by buildings from adjoining properties.

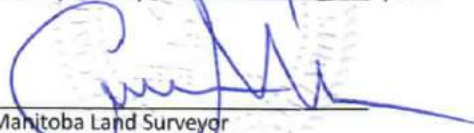
Title search was made on the 27th day of April, 2022

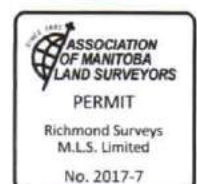
This survey was made on the 29th day of April, 2022

I hereby certify that this survey was made under my personal supervision and in accordance with Part 18, By-Law No. 1 of the Association of Manitoba Land Surveyors.

Signed and Sealed at Brandon, Manitoba



This 4th day of May, 2022


Manitoba Land Surveyor



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#225 QUEENS AVENUE EAST
BRANDON, MANITOBA
AND BEING
LOT 151 PLAN 952
(LOTS 1 & 2, DEP. 1171/20 BLTO)

ALL DISTANCES ARE IN METRES AND MAY BE CONVERTED TO FEET BY MULTIPLYING BY 3.28084
PROPERTY BOUNDARIES REPRESENTED BY THIS SURVEY ARE SHOWN BORDERED THUS 
SURVEY MONUMENTS FOUND OR PLACED ARE DESCRIBED AND SHOWN THUS 
ALL PLANS REFERRED TO ARE ON RECORD IN THE BRANDON LAND TITLES OFFICE
PLEASE NOTE NO UNDERGROUND UTILITIES HAVE BEEN LOCATED, WITH THE EXCEPTION OF SEWER AND WATER
ELEVATIONS ARE GEODETIC AND ARE REFERENCED TO LEWIS INSTRUMENTS REAL-TIME NETWORK
'E' DENOTES EAVE 'T' DENOTES TROUGH



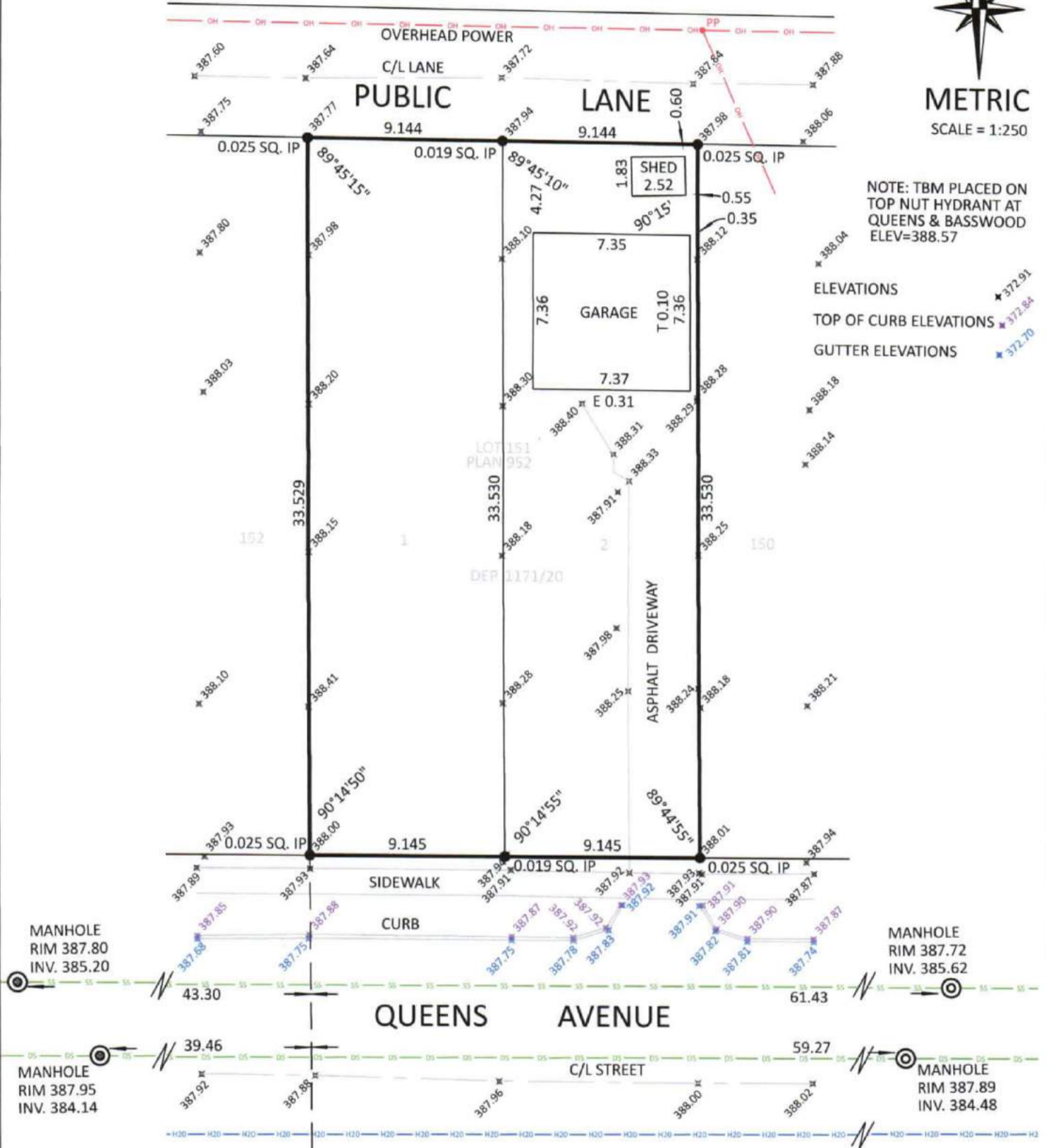
METRIC
SCALE = 1:250

NOTE: TBM PLACED ON
TOP NUT HYDRANT AT
QUEENS & BASSWOOD
ELEV=388.57

ELEVATIONS

TOP OF CURB ELEVATIONS 

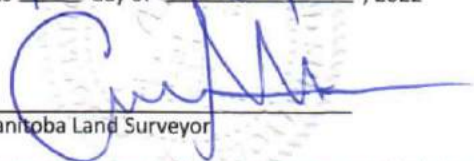
GUTTER ELEVATIONS 



I hereby certify that this survey was made under my personal supervision and in accordance with Part 18,
By-Law No. 1 of the Association of Manitoba Land Surveyors.

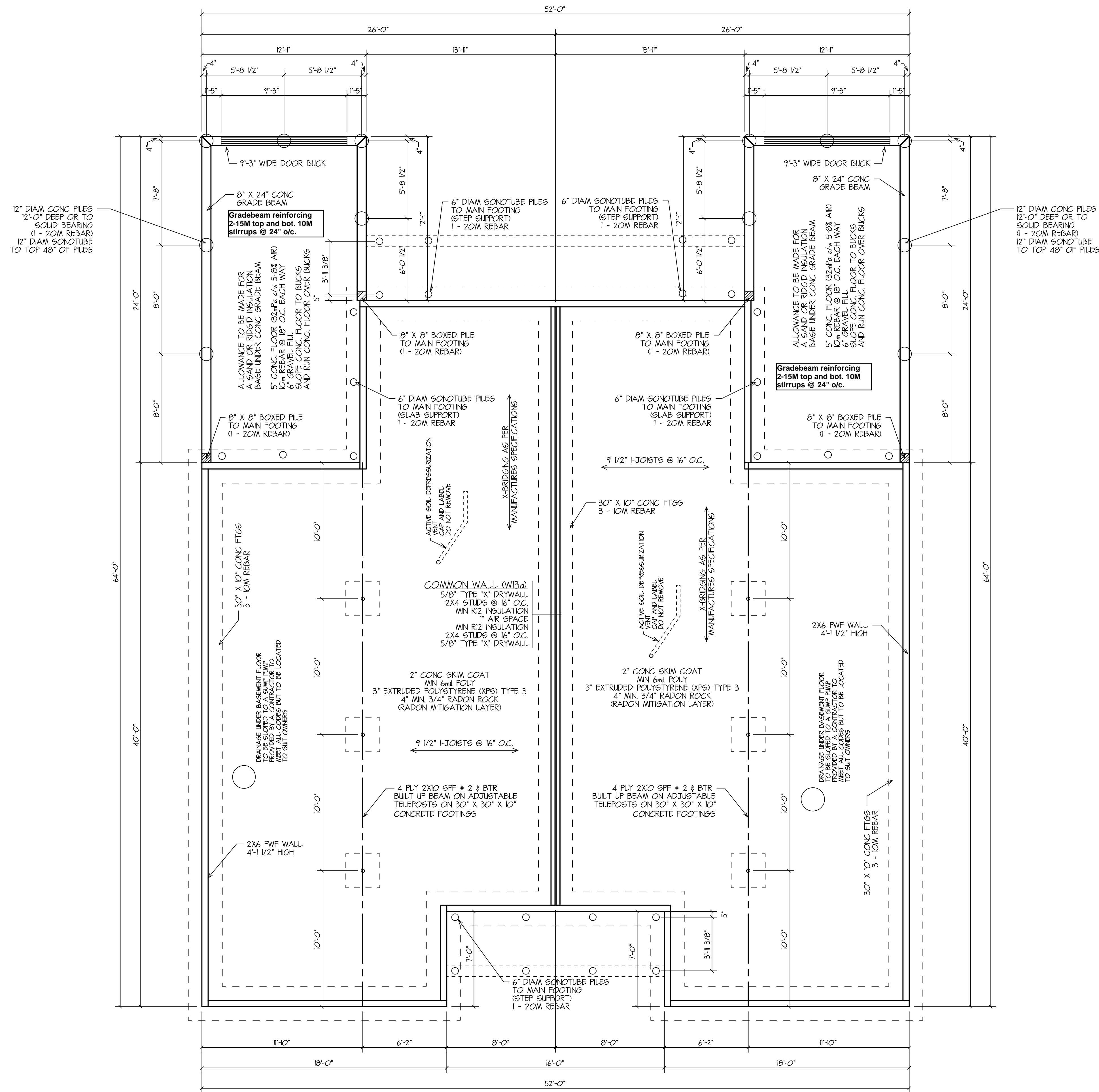
Signed and Sealed at Brandon, Manitoba

This 4th day of May, 2022


Manitoba Land Surveyor

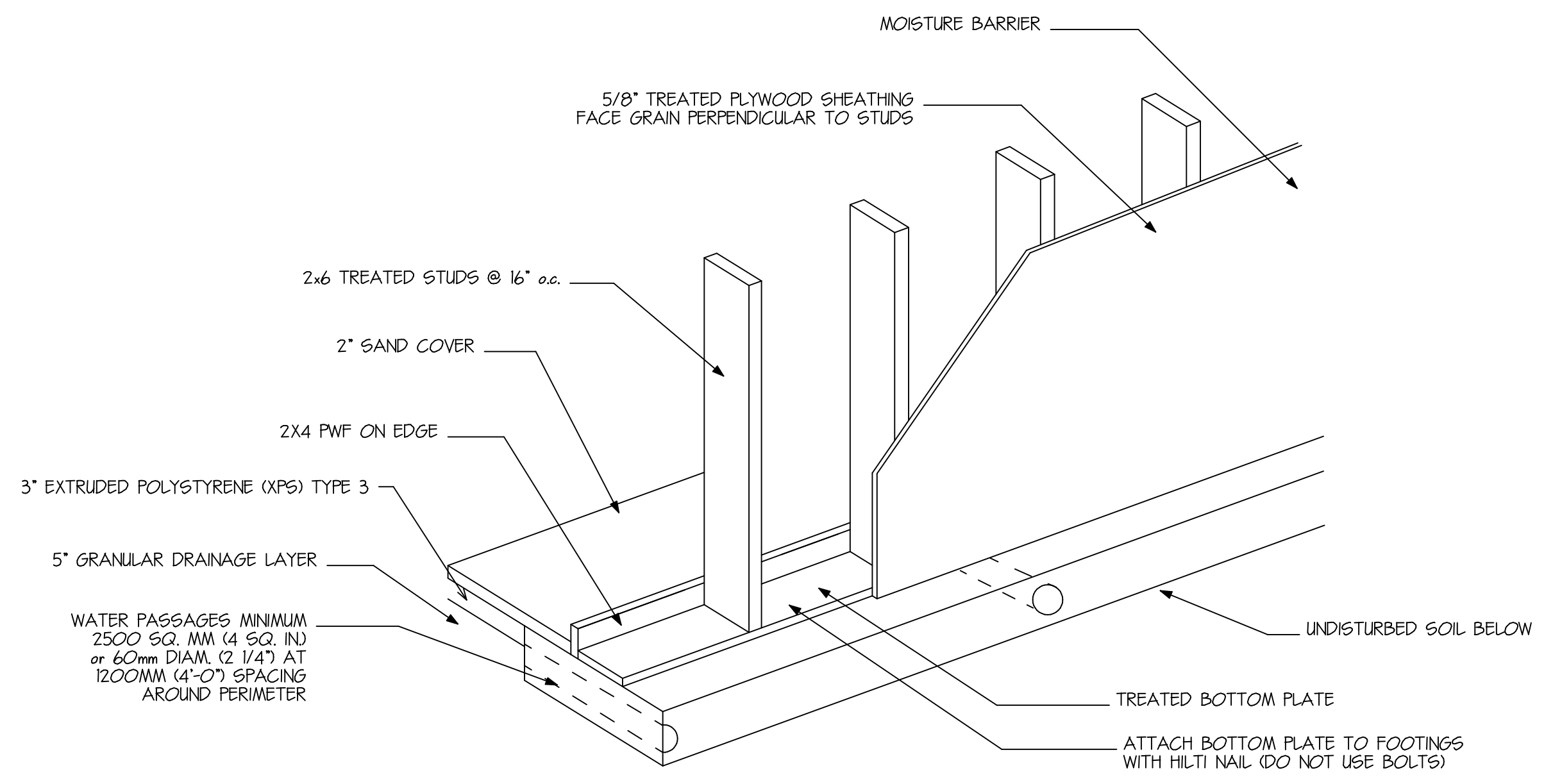


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FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

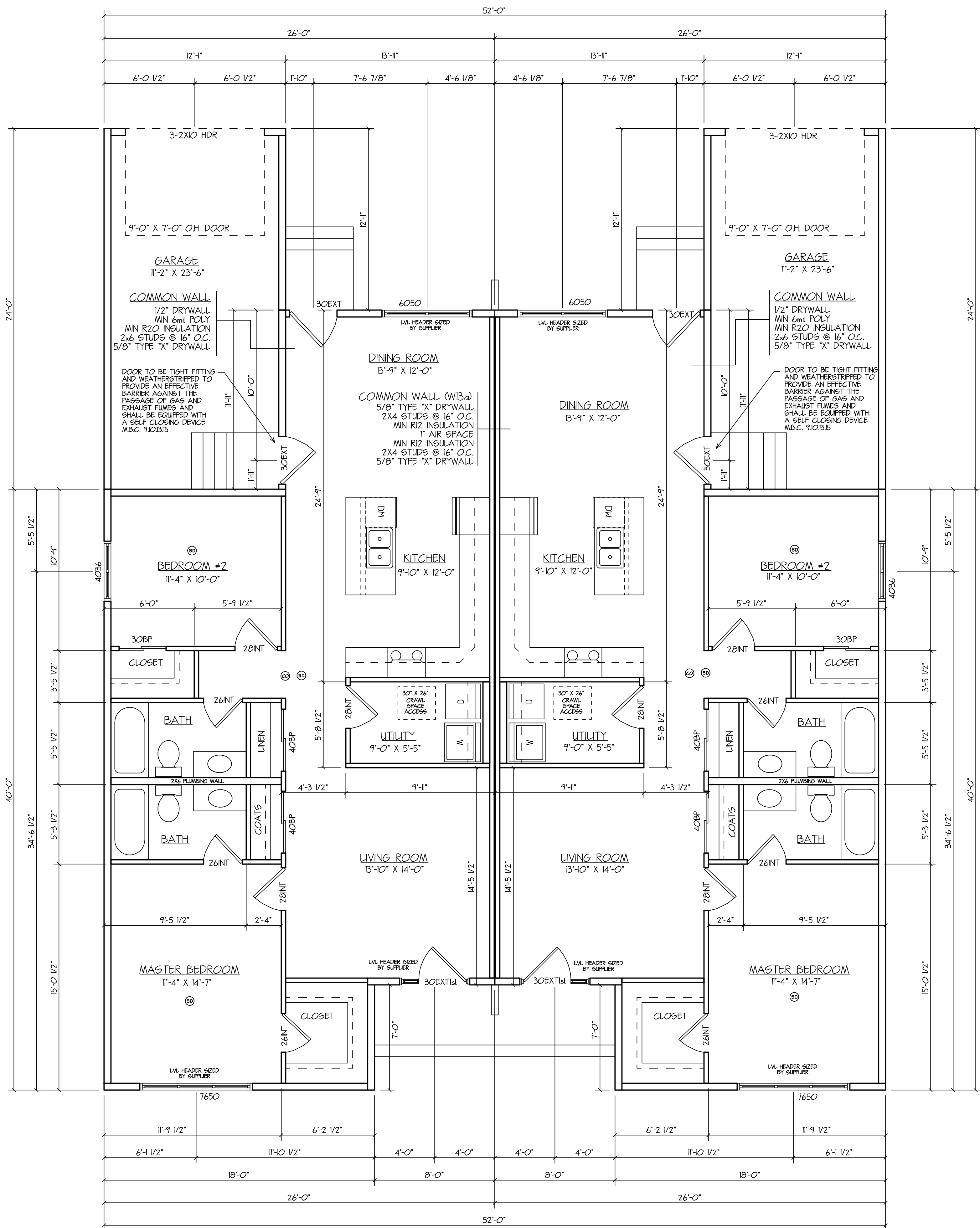
- GENERAL CONSTRUCTION NOTES:
- ALL DIMENSIONAL LUMBER AND PLYWOOD TO BE USED IN THE ERECTION OF THE PRESERVED WOOD FOUNDATION SHALL BE TREATED IN ACCORDANCE WITH CSA STANDARD CAN/CSA - 08015 - SUITABLE MATERIALS WILL BE IDENTIFIED AS SUCH BY A STAMPED CERTIFICATION MARK ATTESTING TO CONFORMANCE WITH CSA STANDARD 0322. FIELD TREATING OF CUT LUMBER ENDS SHALL BE ACHIEVED THROUGH THE APPLICATION OF AN APPROVED PRESERVATIVE SOLUTION CONFORMING TO CSA STANDARD CAN/CSA-080201
 - SOFTWOOD LUMBER USED IN THE PWF WALL AS STUDS OR AS HORIZONTAL STRUCTURAL FRAMING, RESISTING LATERAL SOIL LOADS SHALL BE #2 OR BETTER SPRUCE, FIR OR HEMLOCK. WALL SHEATHING SHALL BE UNSANDED EXTERIOR - TYPE PLYWOOD HAVING AT LEAST 4 PLYS AND SHALL BE LIMITED TO THE FOLLOWING SPECIES: WESTERN HEMLOCK, AMBLES FIR OR DOUGLAS FIR.
 - NAILS FOR FASTENING TREATED MATERIALS SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL CONFORMING TO CSA STANDARD BILL. SEALANTS, CAULKING COMPOUNDS AND DAMPROOFING TO BE UTILIZED SHALL BE IN COMPLIANCE WITH CAN/CSA - 5406 - 92 CLAUSE 5.6. MOISTURE BARRIER SHALL CONFORM TO CAN/CSA - 5134
 - COLUMNS SUPPORTING THE MAIN FLOOR BEAM, FORMING PART OF THE MAIN EXTERIOR FOUNDATION WALL, SHALL BE FABRICATED OF TREATED STOCK AND BE OF THE SAME NUMBER OF LAMINATIONS AS THE BEAM (IE. 3 PLY OR 4 PLY). IN ADDITION, OUTER STUDS SHALL BE FASTENED TO EACH SIDE OF THE COLUMN AND BEAM, EXTENDING FROM THE BASE PLATE TO THE UNDERSIDE OF THE DOUBLE TOP PLATE, TO FORM THE REQUIRED BEAM POCKET. TOP PLATES SHALL BE TIGHT TO THE SIDES OF THE BUILT-UP BEAM.
 - FRAMED OPENINGS IN THE EXTERIOR FOUNDATION WALLS SHALL BE FABRICATED IN ACCORDANCE WITH FIGURE ALL OF CAN/CSA - 5406-92. IF WIDTH OF ROUGH OPENING IS LESS THAN 48" WIDE, WILL REQUIRE A 3 PLY 2X8 UNTEL. OPENINGS BETWEEN 48" AND 72" WILL REQUIRE A 4 PLY 2X8 UNTEL. NUMBER OF WALL STUDS EACH SIDE OF OPENING AND SILL PLATES ARE NOTED IN THE APPLICABLE FIGURE IN THE CODE.
 - FOR FRAMED OPENINGS IN THE FOUNDATION WALLS, EACH MEMBER OF UNTELS SHALL BE FASTENED TO THE TOP PLATE WITH 3" NAILS PLACED 6" APART. JACK STUDS AND ADJACENT WALL STUDS SHALL BE FASTENED TOGETHER BY TWO ROWS OF 3" NAILS 12" APART. APPROVED FRAMING STRAPS OR ANCHORS SHALL BE PROVIDED AT THE CONNECTION BETWEEN THE SILLS, JACK STUDS AND CRIPPLE STUDS WHEN BACKFILL HEIGHT EXCEEDS 5'-0" WITH A SLEEPER OR SLAB FLOOR FRAMING STRAPS SHALL BE PROVIDED AT EVERY WALL STUD. STRAPS SHALL BE SECURED WITH THREE NAILS INTO THE FLOOR HEADER AS WELL AS THREE NAILS INTO THE INNER FACE OF STUD.
 - IF BASEMENT STAIRWELL IS LOCATED WITHIN 48" OF EXTERIOR SIDE WALL OR 72" OF EXTERIOR ENDWALL OR AT EXTERIOR FOUNDATION CORNER, SPECIFIC FLOOR FRAMING REQUIREMENTS, NOTED ON FIGURES A22 THROUGH A24 OF CAN/CSA - 5406-92 MUST BE SATISFIED.
 - ALL EDGES OF PLYWOOD PANELS THAT ARE BELOW EXTERIOR GRADE LEVEL SHALL BE SUPPORTED BY FRAMING MEMBERS. EDGES AS WELL AS GAPS BETWEEN ADJACENT PLYWOOD SHEETS SHALL BE TREATED WITH AN APPROVED SEALANT. NAILING SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF TABLE 7 OF CAN/CSA - 5406 - 92.
 - THE EXTERIOR 6 MIL POLYETHYLENE SHEET MOISTURE BARRIER SHALL BE APPLIED TO THE EXTERIOR PLYWOOD BY MEANS OF EMBEDMENT INTO VERTICAL BEADS OF SEALANT, OR INTO DAMPROOFING APPLIED UNIFORMLY OVER PLYWOOD. JOINTS BETWEEN SHEETS SHALL BE VERTICAL, AND BEING LAPPED A MINIMUM OF 24" AND SEALED. THE UPPER EDGE OF THE POLYETHYLENE SHALL BE LOOPED A MINIMUM OF 6" AND SECURED IN PLACE THE INSTALLATION OF A 1/2" PLYWOOD COVER PLATE, MINIMUM 12" WIDE AND PLACED AT GRADE AROUND THE PWF (SEE FIGURE A28 OF CAN/CSA - 5406 - 92
 - SIDE WALLS ACT AS SHEAR WALLS DUE TO UNEQUAL BACKFILL HEIGHT. PLYWOOD TO BE NAILED WITH 2 1/2" NAILS AT 4' O.C. ON ALL EDGES OF PLYWOOD SHEETS.



TYPICAL WALL/FOUNDATION DETAIL
SCALE: 1/2" = 1'-0"



CUSTOMER : CONTRACTORS CORNER	
DATE: MARCH 27/23	
006-23	REV #1: X
DRAWN BY : KCS	REV #2: X
K & P DRAFTING	
161 POWELL PRESENT S. BOX 861 SOURIS, MANITOBA R2K-2C8	



MAIN FLOOR PLAN - 1154 SQFT. PER UNIT
 TOTAL SQFT. - 2308 SQFT.
 SCALE: 1/4" = 1'-0"

NOTE:
 DOUBLE LAYER OF 5/8" TYPE "X" DRYWALL
 TO EACH UNIT AND GARAGE CEILING

NOTE:

IT IS THE RESPONSIBILITY OF FRAMING CONTRACTOR TO ENSURE SOLID STUDS ARE PLACED IN INTERIOR AND EXTERIOR WALL BELOW ALL POINT LOADS FROM ROOF TRUSSES AND FLOOR SYSTEMS FROM TOP FLOOR TO FOUNDATION IN THE CASE OF A PWF BASEMENT TO BASEMENT FOOTINGS

OPENING SCHEDULE						LEVEL A	
NAME	TYPE	QTY.	SWING	HAND	WIDTH	HEIGHT	DESCRIPTION
30EXT1	EXTERIOR DOOR	1	inswing	left	4'-8"	6'-10 7/8"	3068 Ext Dr w/Isd
30EXT1	EXTERIOR DOOR	1	inswing	right	4'-8"	6'-10 7/8"	3068 Ext Dr w/Isd
30EXT2	EXTERIOR DOOR	2	inswing	left	3'-2"	6'-11 1/2"	3068 Exterior Door
30EXT	EXTERIOR DOOR	2	inswing	right	3'-2"	6'-11 1/2"	3068 Exterior Door
9x7	EXTERIOR DOOR	1	inswing	right	9'-3"	7'-1 1/2"	9' GARAGE DOOR
9x7	EXTERIOR DOOR	1	inswing	left	9'-3"	7'-1 1/2"	9' GARAGE DOOR
26INT	INTERIOR DOOR	2	inswing	left	2'-7"	6'-10 1/2"	Interior Door
26INT	INTERIOR DOOR	1	outswing	left	2'-7"	6'-10 1/2"	Interior Door
26INT	INTERIOR DOOR	2	inswing	right	2'-7"	6'-10 1/2"	Interior Door
26INT	INTERIOR DOOR	1	outswing	right	2'-7"	6'-10 1/2"	Interior Door
28INT	INTERIOR DOOR	3	inswing	left	2'-10"	6'-10 1/2"	Interior Door
28INT	INTERIOR DOOR	3	inswing	right	2'-10"	6'-10 1/2"	Interior Door
30BP	INTERIOR DOOR	1	outswing	right	3'-1 1/2"	6'-9 1/2"	Sgl. Br-Fold
30BP	INTERIOR DOOR	1	outswing	left	3'-1 1/2"	6'-9 1/2"	Sgl. Br-Fold
40BP	INTERIOR DOOR	2	outswing	right	4'-1 1/2"	6'-9 1/2"	40 Br-Pass
40BP	INTERIOR DOOR	2	outswing	left	4'-1 1/2"	6'-9 1/2"	40 Br-Pass
4036	WINDOW	2	-	-	4'-0"	3'-6"	PICTURE/CASEMENT
6050	WINDOW	2	-	-	6'-0"	5'-0"	CASE/PICTURE
7650	WINDOW	2	-	-	7'-6"	6'-0"	CASE/PICT/CASE

TYPICAL BUILDING ASSEMBLY DETAILS

2X6 PWF WALL @ 16" O.C.

WALL ASSEMBLY COMPONENTS	RSI VALUE
EXTERIOR AIR FILM	0.03
HARDPLANK SIDING (5/16")	0.03
HOUSE WRAP	0.00
1/2" PWF PLYWOOD	0.11
2X6 FRAMING FILLED WITH R22 BATT @ 16" O.C.	2.55
POLYETHYLENE	0.00
INTERIOR AIR FILM	0.12
EFFECTIVE RSI VALUE OF ENTIRE ASSEMBLY - 2.84	

ROOFS/CEILINGS BELOW ATTIC

ROOF ASSEMBLY COMPONENTS	RSI VALUE
ROOF SHEATHING	0.00
EXTERIOR AIR FILM	0.03
INSULATION ABOVE BTM CORD (R38)	6.71
POLYETHYLENE	0.00
DOUBLE 5/8" GYPSUM BOARD	0.20
INTERIOR AIR FILM	0.00
ROOF BOTTOM CORD LUMBER (2X4) 24" O.C. RIZ NOMINAL INSULATION BETWEEN BTM CORDS	1.765
EFFECTIVE RSI VALUE OF ENTIRE ASSEMBLY - 8.7	

2X6 HOUSE/GARAGE COMMON WALL

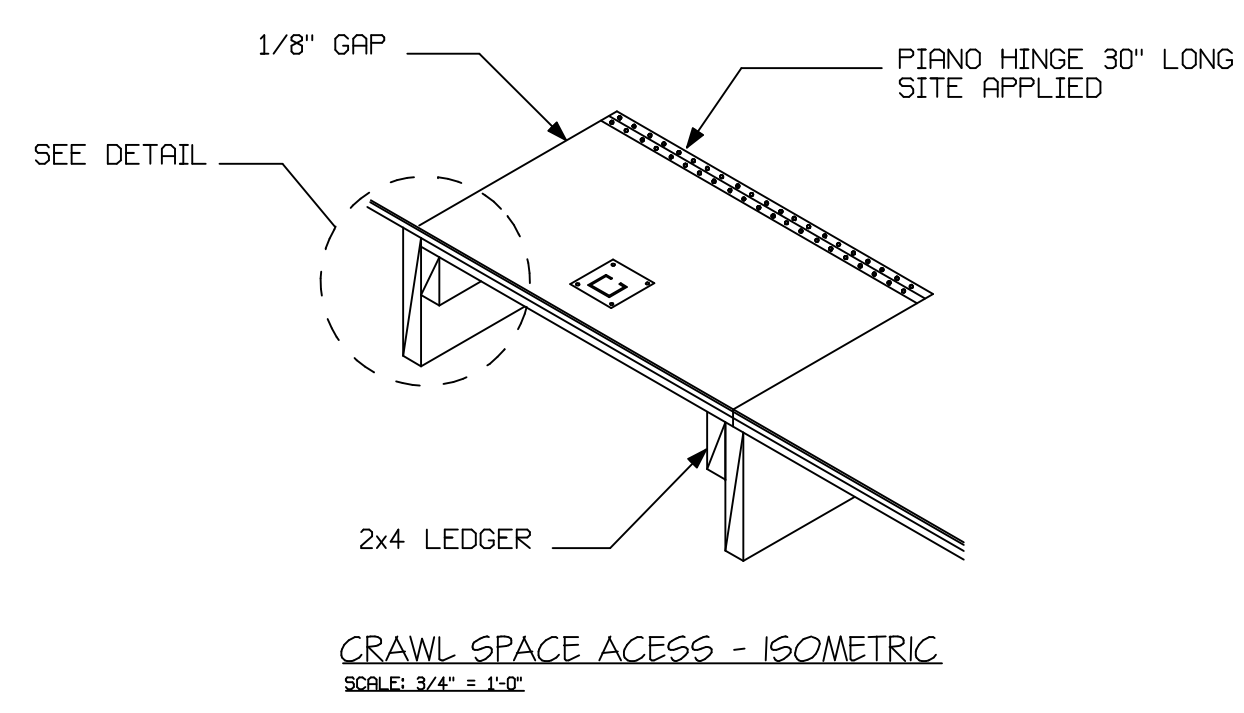
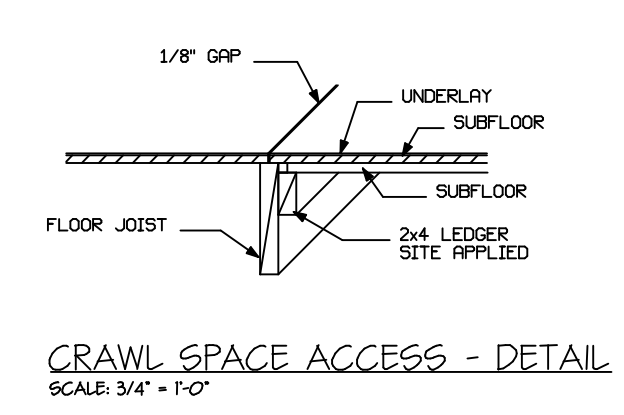
WALL ASSEMBLY COMPONENTS	RSI VALUE
5/8" GYPSUM BOARD	0.10
2X6 FRAMING FILLED WITH R22 BATT @ 16" O.C.	2.55
POLYETHYLENE	0.00
1/2" GYPSUM BOARD	0.08
FINISH: 1 COAT LATEX PRIMER AND LATEX PAINT	0.00
INTERIOR AIR FILM	0.12
EFFECTIVE RSI VALUE OF ENTIRE ASSEMBLY - 2.85	

2X6 EXTERIOR WALL

WALL ASSEMBLY COMPONENTS	RSI VALUE
EXTERIOR AIR FILM	0.03
HARDPLANK SIDING (5/16")	0.03
HOUSE WRAP	0.00
3/8" OSB WALL SHEATHING	0.01
2X6 FRAMING FILLED WITH R22 BATT @ 16" O.C.	2.55
POLYETHYLENE	0.00
1/2" GYPSUM BOARD	0.08
FINISH: 1 COAT LATEX PRIMER AND LATEX PAINT	0.00
INTERIOR AIR FILM	0.12
EFFECTIVE RSI VALUE OF ENTIRE ASSEMBLY - 2.90	

CRAWLSPACE FLOOR

FLOOR ASSEMBLY COMPONENTS	RSI VALUE
INTERIOR AIR FILM FLOOR HEAT FLOWS DOWN	0.16
CONCRETE SLAB (5")	0.05
POLYETHYLENE	0.00
5" FOAMULAR XPS FOAM INSULATION	2.64
EFFECTIVE RSI VALUE OF ENTIRE ASSEMBLY - 2.85	



NOTE:
 BEDROOM WINDOWS SHALL PROVIDE UNOBSTRUCTED OPENINGS WITH AREAS NOT LESS THAN 0.35 SQ. M AND WITH NO DIMENSION LESS THAN 380mm.
 1) WHERE A WINDOW OPENS INTO A WINDOW WELL, A CLEARANCE OF NOT LESS THAN 500 mm SHALL BE PROVIDED IN FRONT OF THE WINDOW.
 2) WHERE THE SASH OF THE WINDOW SWINGS TOWARDS THE WINDOW WELL, THE OPERATION OF THE SASH SHALL NOT REDUCE THE CLEARANCE IN A MANNER THAT WOULD RESTRICT ESCAPE IN AN EMERGENCY.

NOTE:
 ALL WINDOW & DOOR ROUGH OPENINGS ARE OF GENERIC SIZES. ROUGH OPENINGS MAY CHANGE DEPENDING ON MANUFACTURERS SPECIFICATIONS.

WATERPROOF FINISH SHALL BE PROVIDED TO A HEIGHT NOT LESS THAN THE FOLLOWING:
 - 18m ABOVE THE FLOOR IN SHOWER STALLS
 - 12m ABOVE THE RIMS OF BATHTUBS EQUIPPED WITH SHOWERS
 - 400mm ABOVE THE RIMS OF BATHTUBS NOT EQUIPPED WITH SHOWERS
 WATERPROOF MATERIALS SHALL CONSIST OF CERAMIC, PLASTIC, OR METAL TILES, SHEET VINYL, TEMPERED HARDBOARD, LAMINATED THERMOSETTING DECORATIVE SHEETS, OR LINOLUM AS PER NB.C.C. SECTION 9.2.2

910.9.8 REQUIRED CARBON MONOXIDE DETECTORS
 1) A BUILDING SUBJECT TO THIS PART, BUT THAT IS NOT SUBJECT TO ARTICLE 9.32.3.9 MUST HAVE INSTALLED IN IT A CARBON MONOXIDE ALARM THAT IS
 a) INSTALLED IN CONFORMANCE WITH NFPA-720 STANDARD FOR THE INSTALLATION OF CARBON MONOXIDE (CO) DETECTION AND WARNING EQUIPMENT AND
 b) INTERCONNECTED TO THE FIRE ALARM SYSTEM WHERE A FIRE ALARM IS REQUIRED UNDER ARTICAL 9.10.12

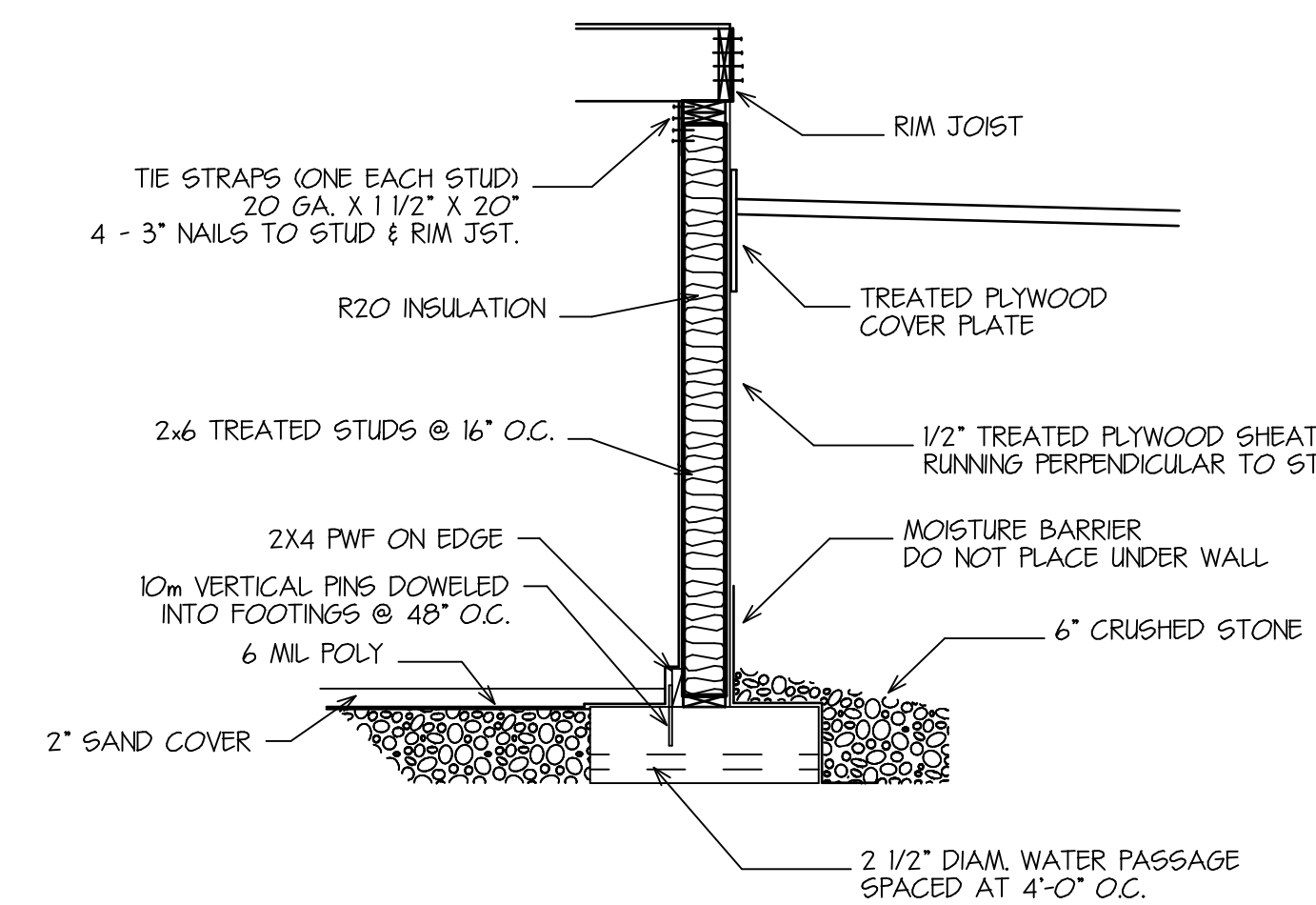
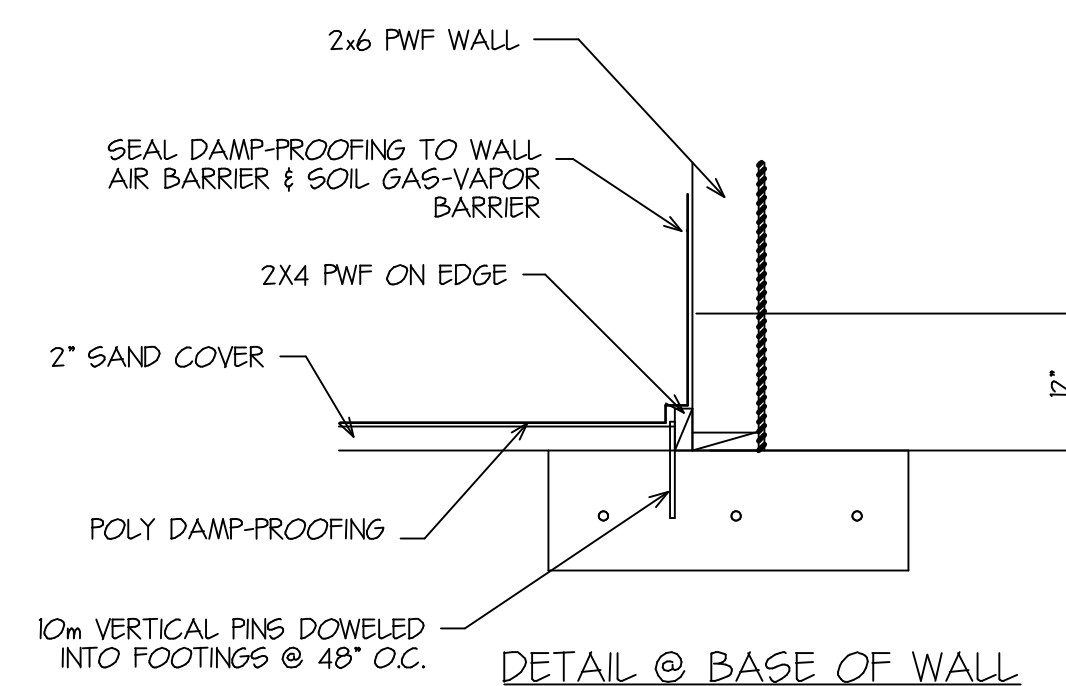
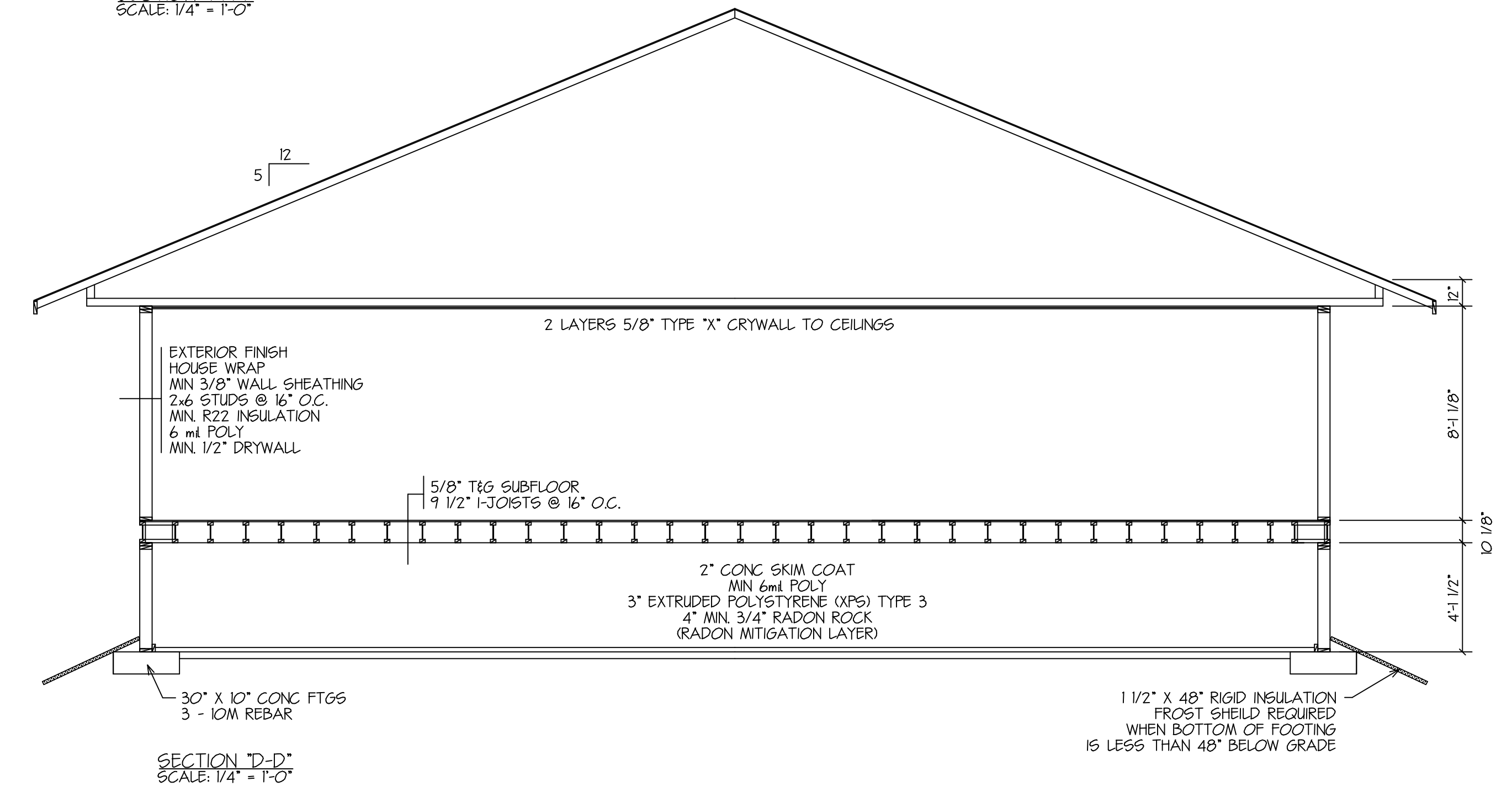
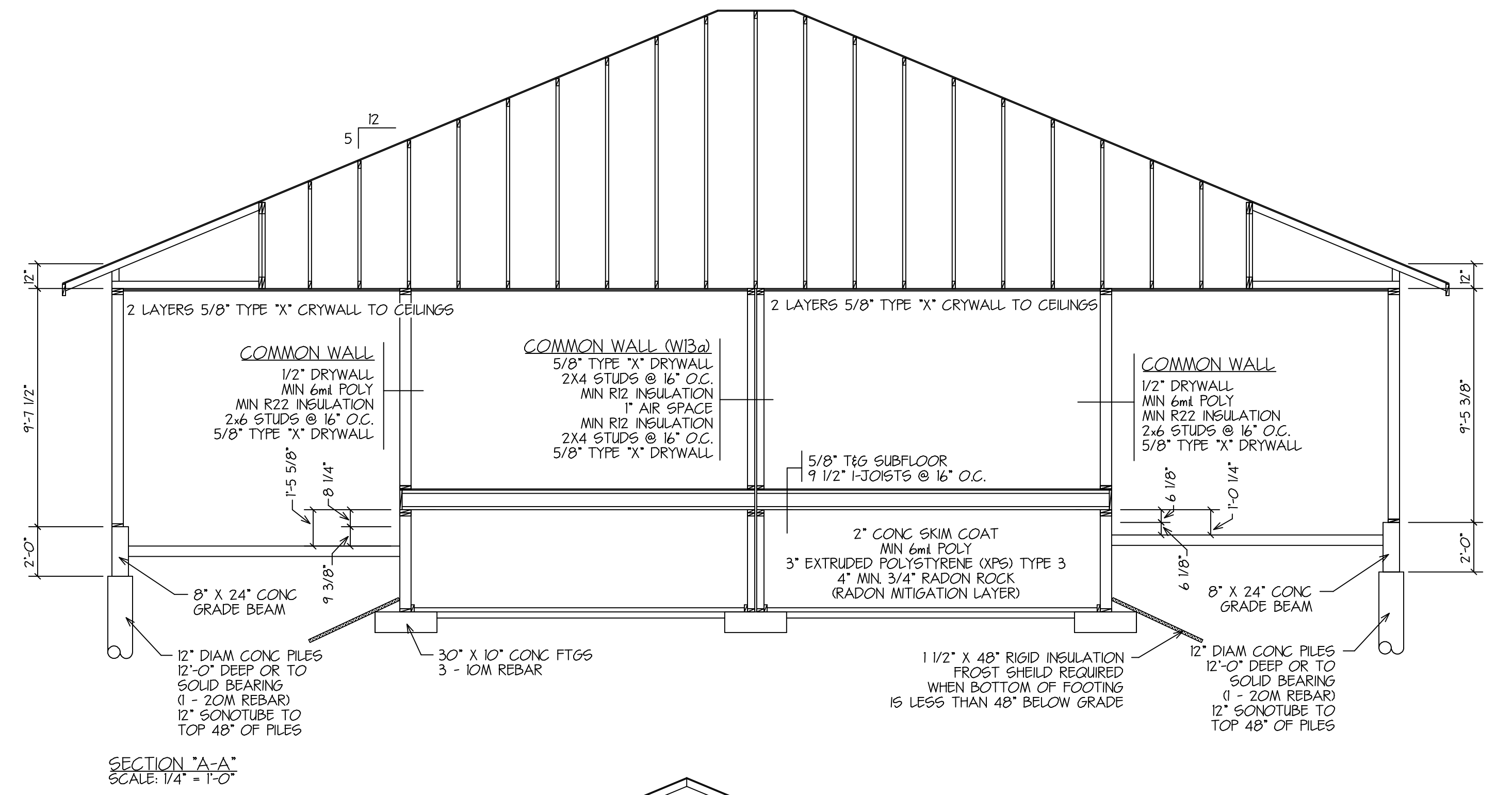
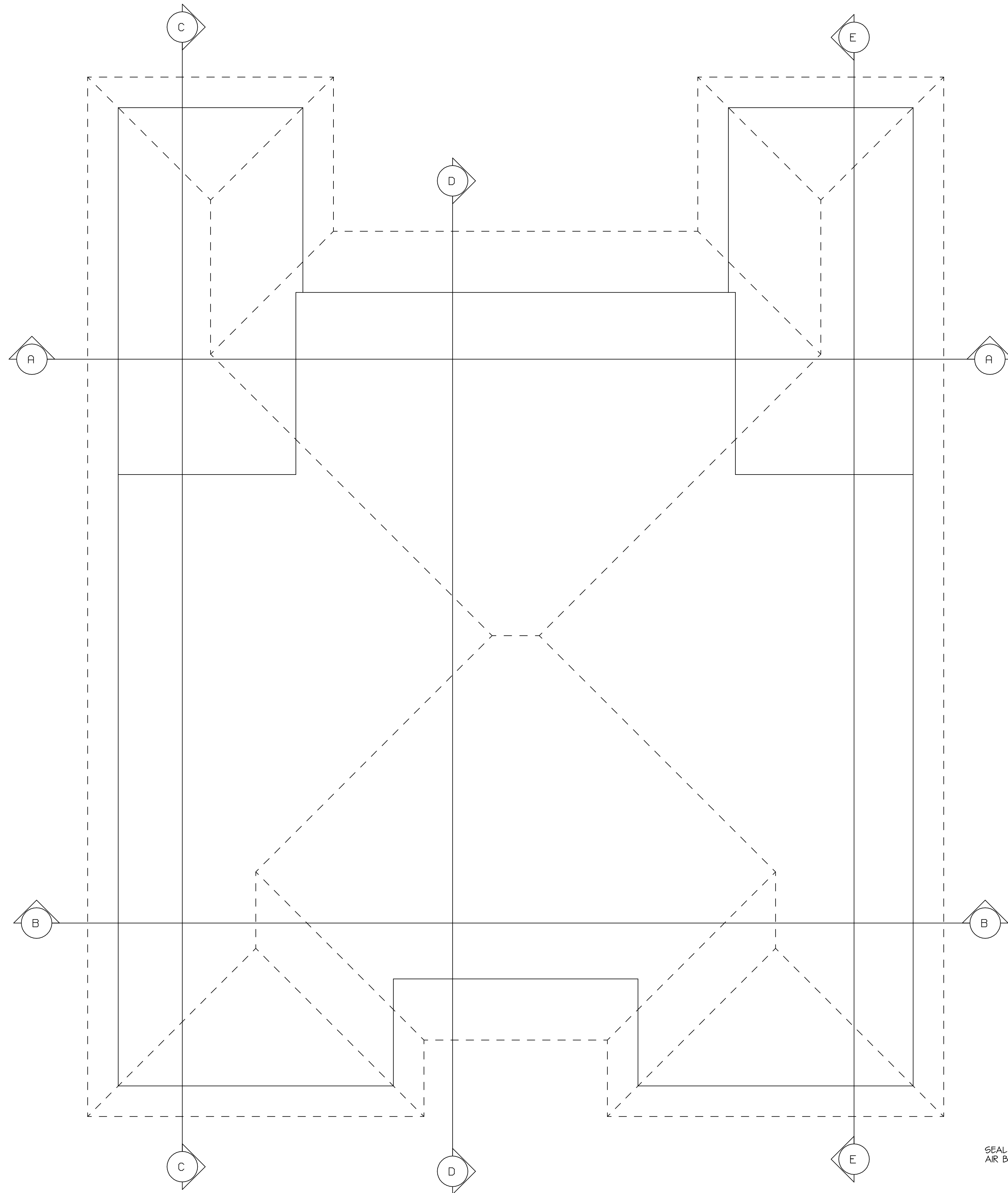
GENERAL NOTES:
 ALL WORK SHALL BE IN STRICT ACCORDANCE WITH THE PROVINCIAL BUILDING CODES & ORDINANCES ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE OF SHEATHING.
 OWNER/CONTRACTOR TO VERIFY ALL DIMENSIONS & REPORT ANY DISCREPANCIES TO DRAFTSMAN BEFORE STARTING CONSTRUCTION
 ALL ELECTRICAL & PLUMBING SHALL CONFORM TO THE LATEST EDITION OF THE NATIONAL & LOCAL CODES.
 ALL LINTELS TO BE 2-2X10 UNLESS NOTED
 ALL BATHROOM AND BEDROOM DOORS REQUIRE AN UNDERCUT OF 1/2"
 20" X 28" ATTIC ACCESS TO BE PROVIDED LOCATION TO BE DETERMINED ON SITE.
 ALL PLUMBING AND HEATING TO BE INSTALLED BY AN ACCREDITED AND LICENCED INSTALLER
 THE PRINCIPAL EXHAUST FAN MUST BE CONTROLLED BY A MANUAL SWITCH LOCATED CENTRALLY IN THE DWELLING UNIT AND CLEARLY MARKED 'VENTILATION FAN' AS PER ART. 9.32.3.4(4)

GARAGE NOTE:
 A STORAGE GARAGE THAT SERVES ONLY THE DWELLING UNIT TO WHICH IT IS ATTACHED OR IN WHICH IT IS BUILT SHALL BE CONSIDERED AS PART OF THAT DWELLING UNIT AND
 a) SHALL BE SEPARATED FROM OTHER OCCUPANCIES BY A VERTICAL ASSEMBLY WITH A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MIN. AND
 b) WHERE THERE IS AN OCCUPANCY ABOVE THE STORAGE GARAGE, THAT OCCUPANCY SHALL BE SEPARATED FROM THE STORAGE GARAGE BY A ASSEMBLY WITH A FIRE RESISTANCE RATING OF NOT LESS THAN 1 HOUR

HEAT SENSORS IN STORAGE GARAGES
 1) A FIXED TEMPERATURE HEAT SENSOR SHALL BE INSTALLED IN EACH STORAGE GARAGE THAT IS WITHIN PART OF OR ATTACHED TO A DWELLING UNIT
 2) A FIXED TEMPERATURE HEAT SENSOR REQUIRED UNDER SENTENCE 1) SHALL
 a) BE INSTALLED ON THE CEILING OF THE STORAGE GARAGE OR, IF THE STORAGE GARAGE HAS NO CEILING, ON THE BOTTOM OF A CEILING JOIST WITHIN THE STORAGE GARAGE
 b) BE INSTALLED BY PERMANENT CONNECTIONS TO AN ELECTRICAL CIRCUIT AND HAVE NO DISCONNECT SWITCH BETWEEN THE OVERCURRENT DEVICE AND SENSOR, AND
 c) BE WIRED SO THAT THE ACTIVATION OF THE SENSOR WILL CAUSE ALL SMOKE ALARMS REQUIRED TO BE WITHIN THE DWELLING UNIT UNDER ARTICLES 9.10.11 AND 9.10.12 TO SOUND

CUSTOMER : CONTRACTORS CORNER
 DATE: MARCH 27/23
 006-23 REV #1: X
 DRAWN BY : KCS REV #2: X

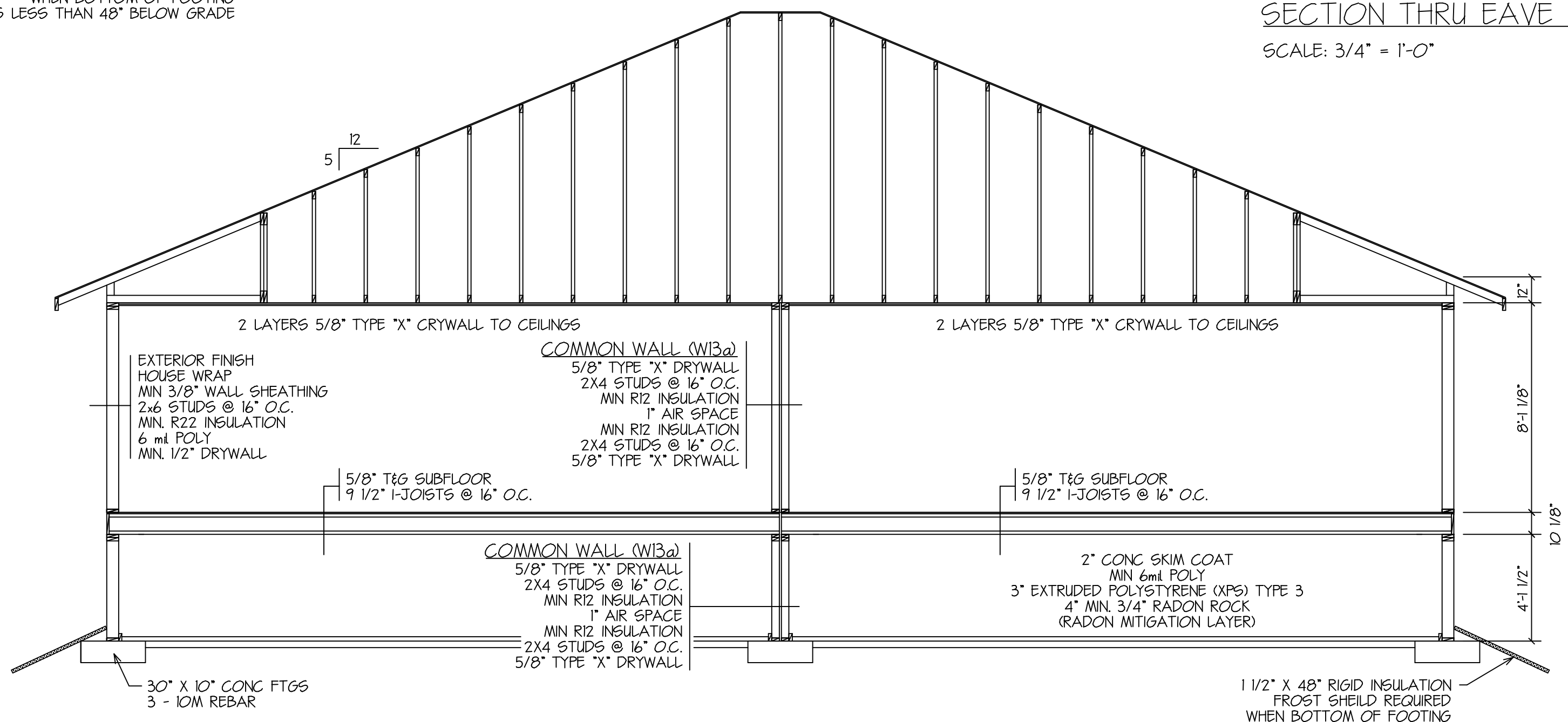
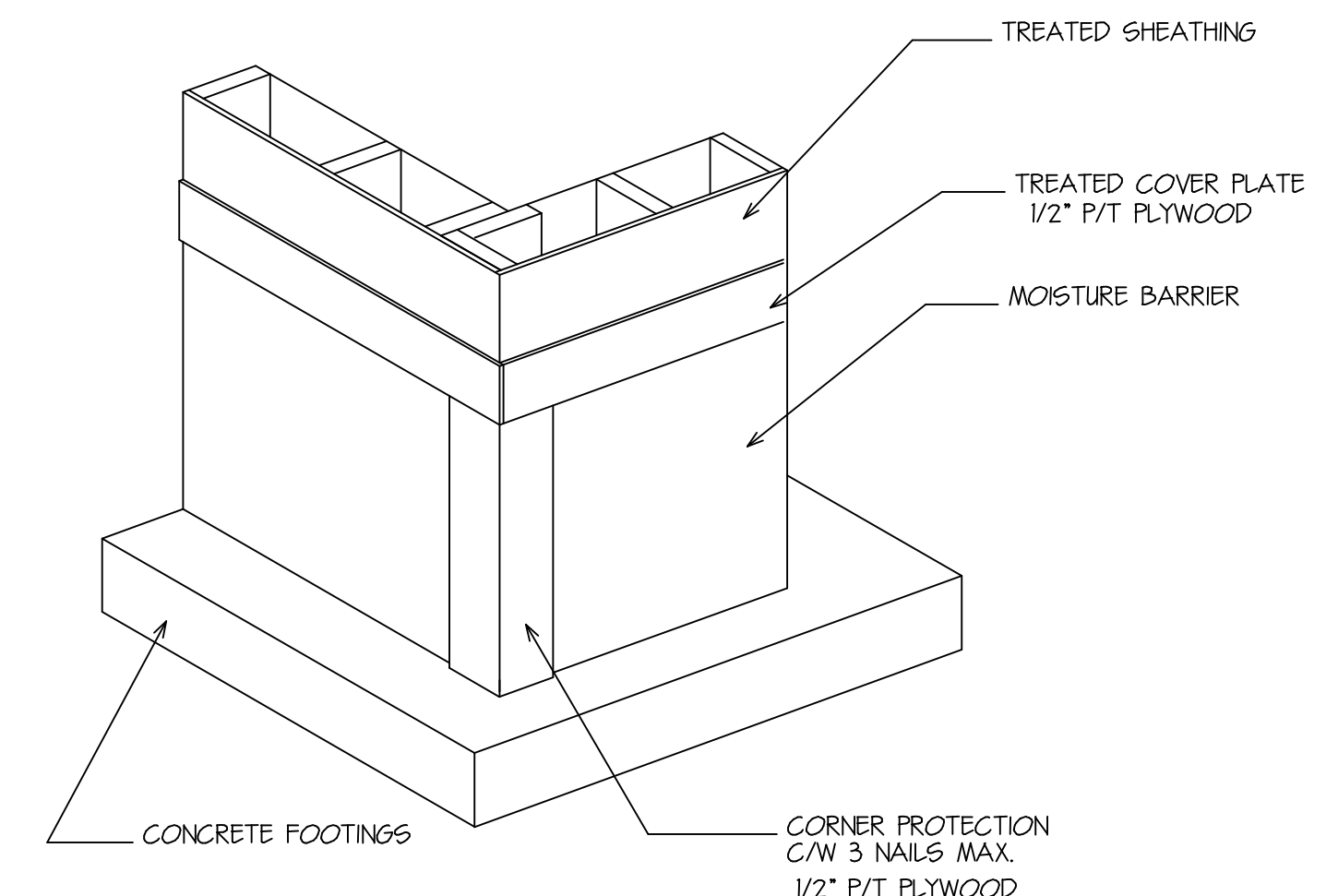
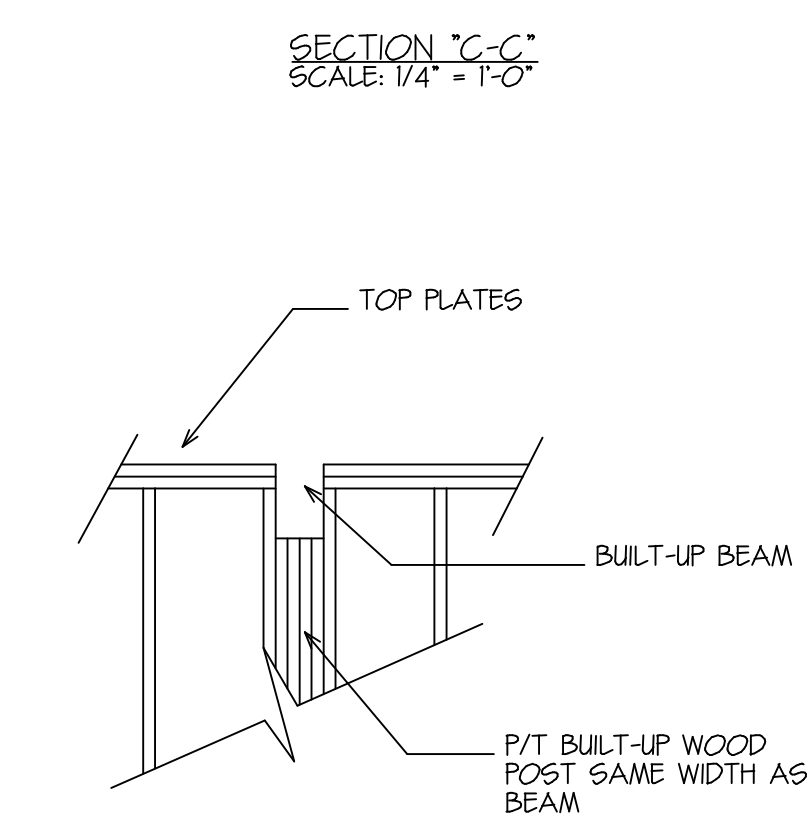
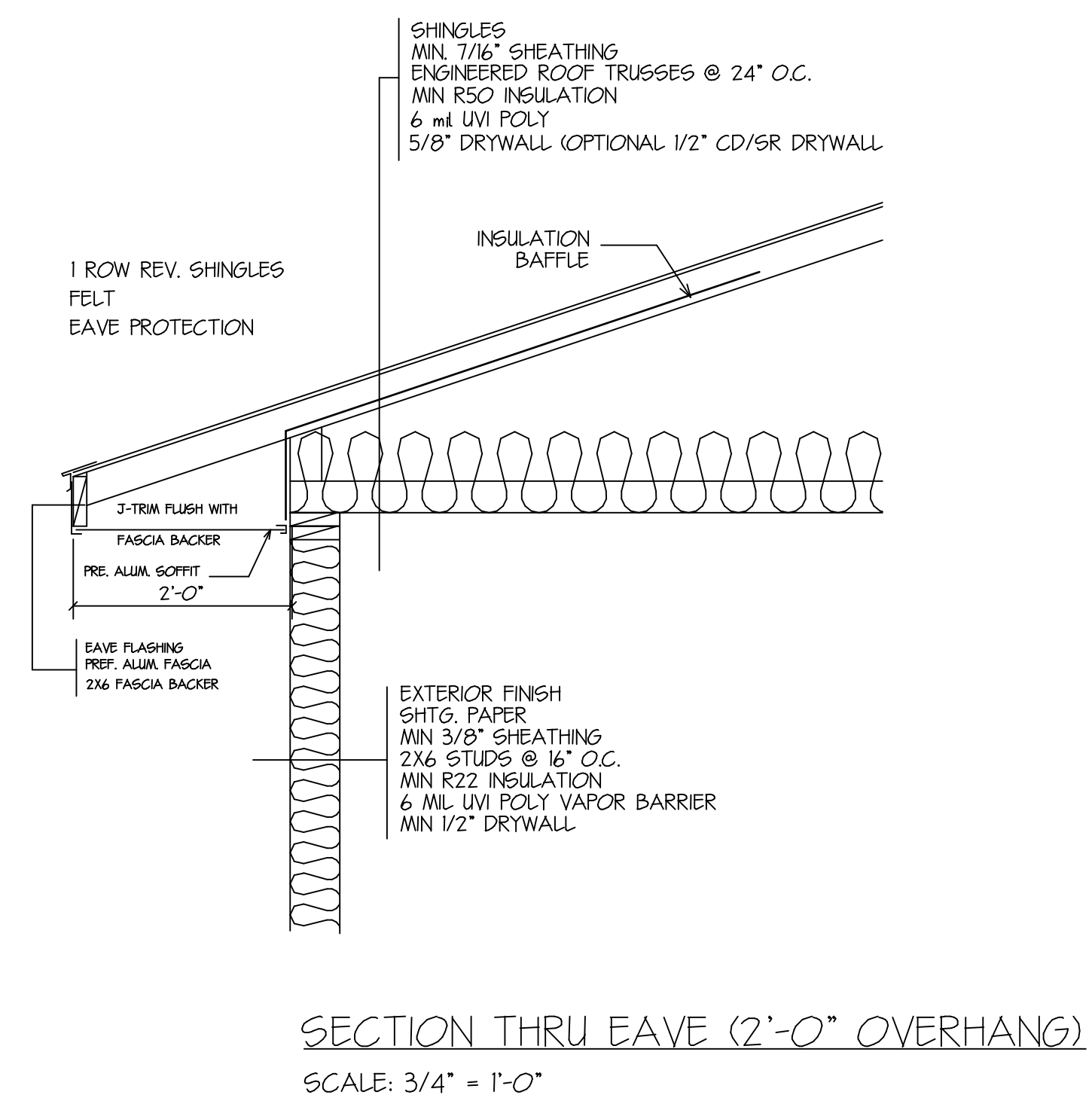
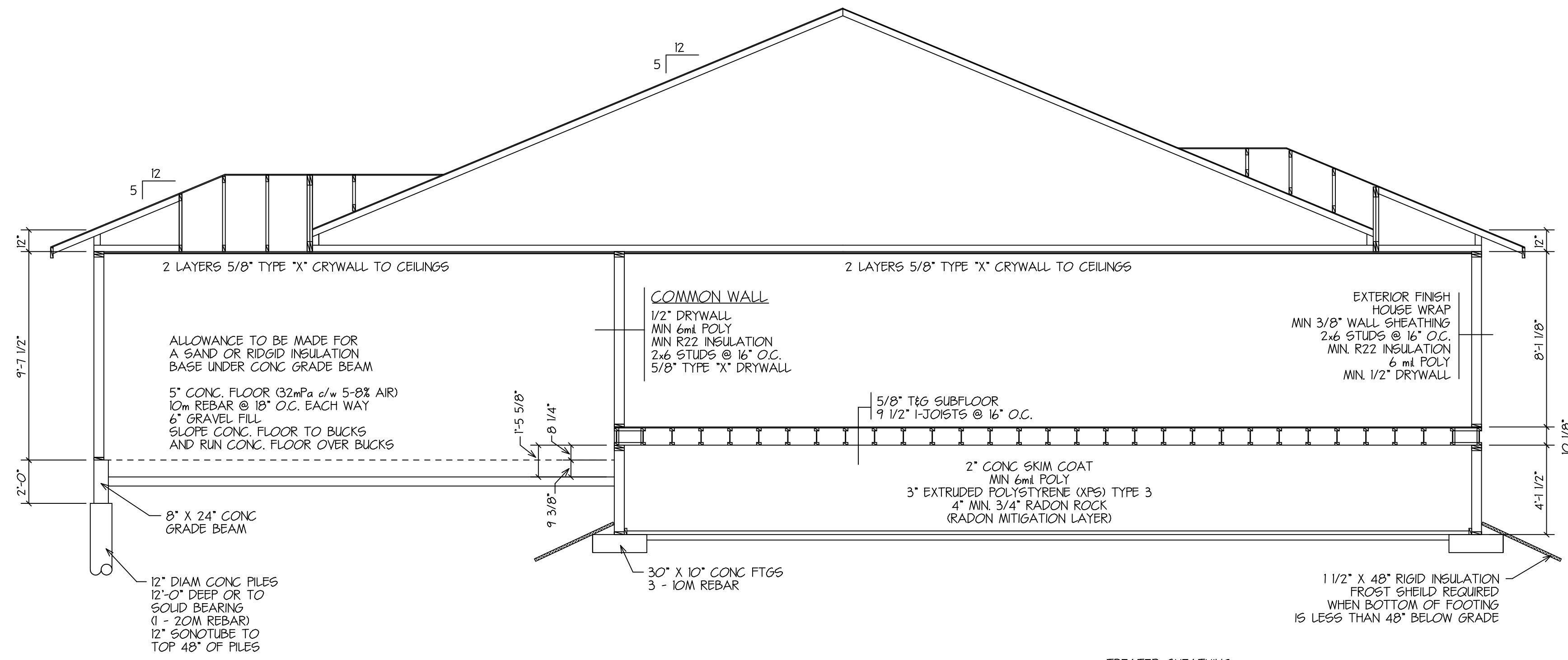
K & P DRAFTING
 161 POWELL CRESENT S.
 BOX 861
 SOURIS, MANITOBA
 R2K-2C8



Apr. 13, 23

CUSTOMER : CONTRACTORS CORNER
DATE : MARCH 27/23
006-23 REV #1 : X
DRAWN BY : KCS REV #2 : X

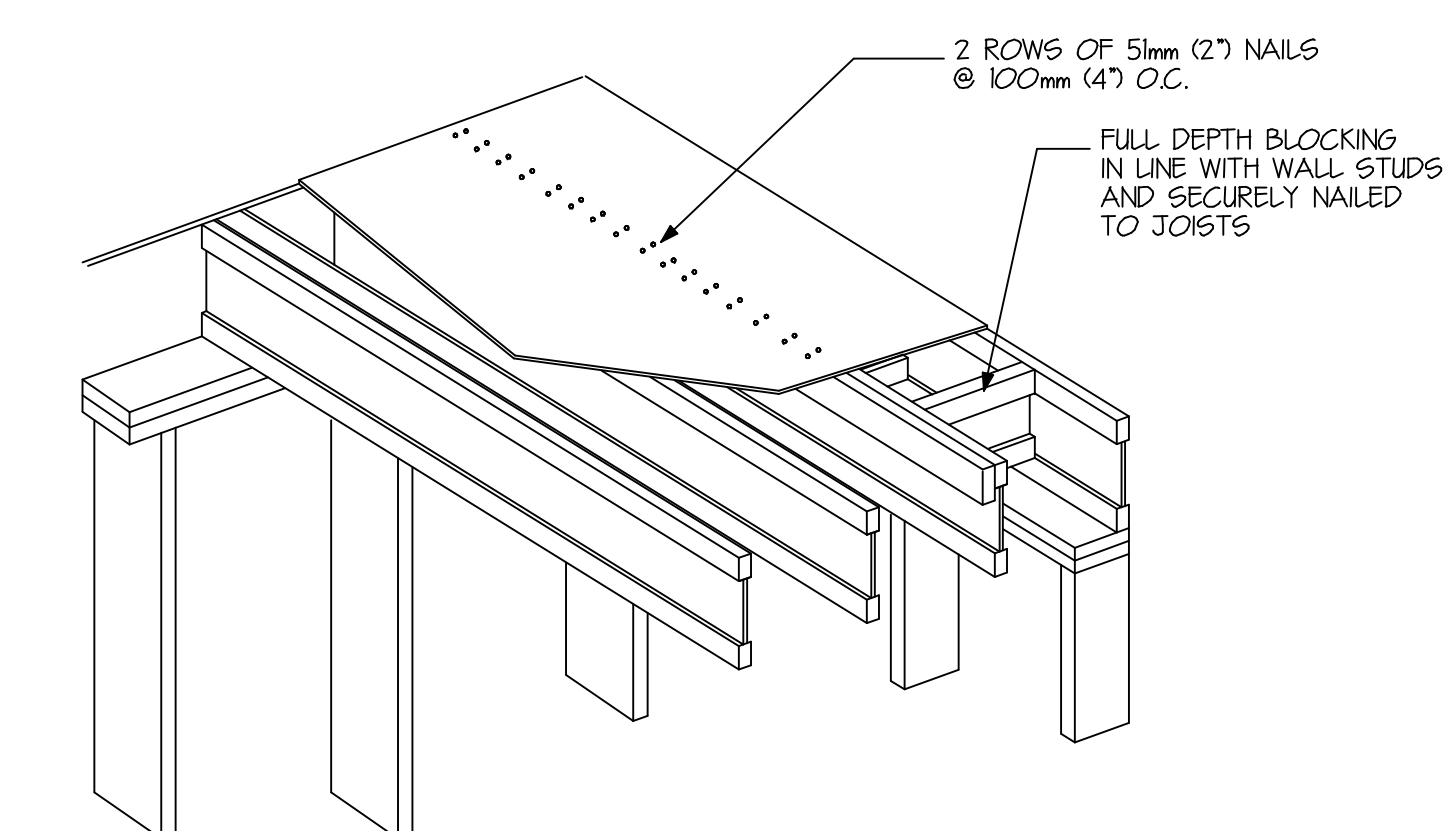
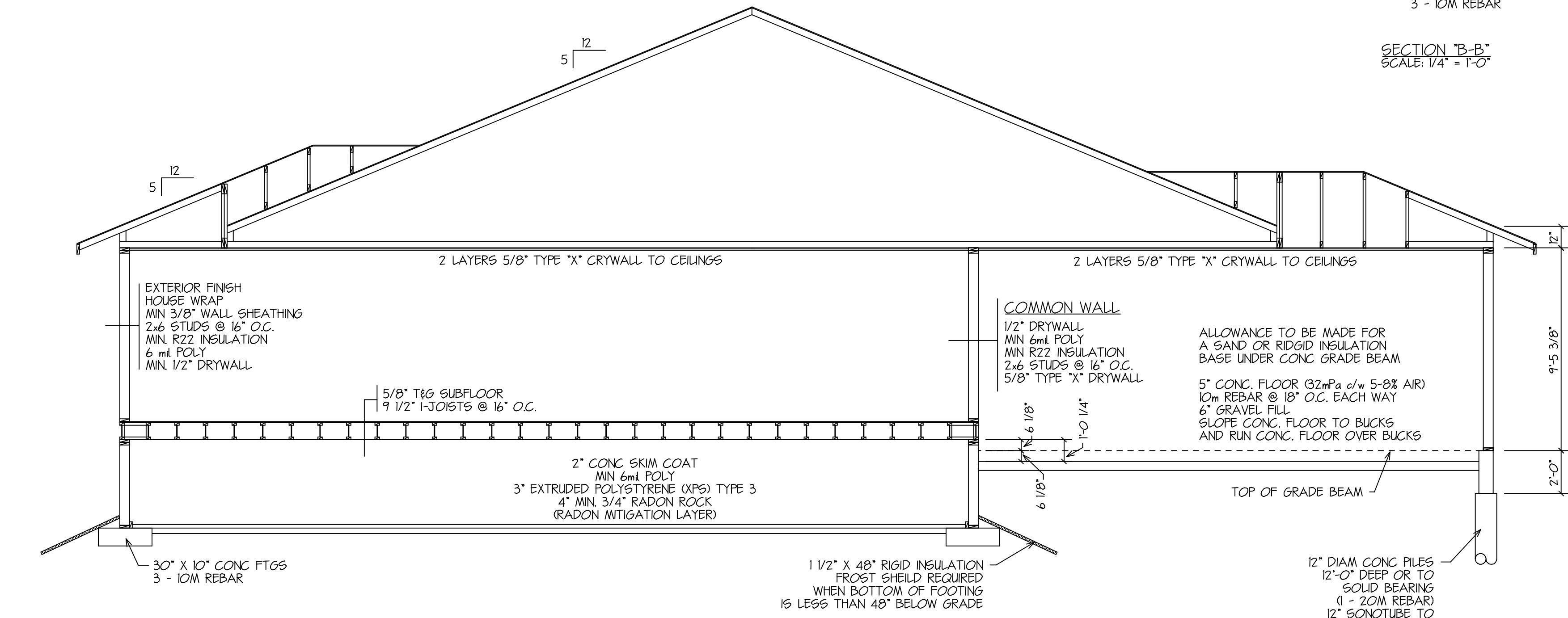
**K & P
DRAFTING**
161 POWELL CRESENT S.
BOX 861
SOURIS, MANITOBA
R2K-2C0



BEAM POCKET DETAIL

MOISTURE BARRIER @ CORNERS

SECTION 'B-B'



END WALL FRAMING DETAIL

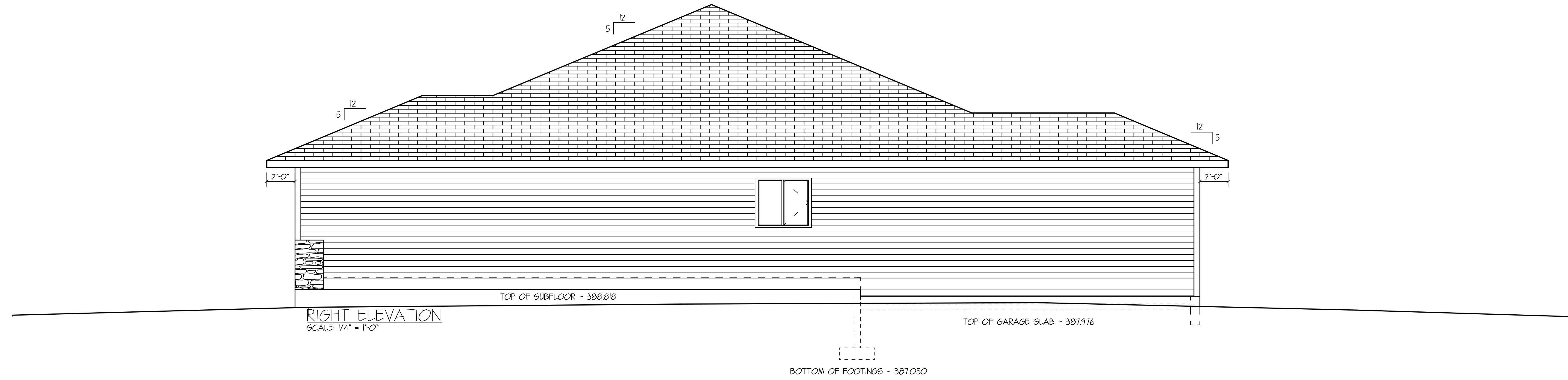


Apr. 13, 23

CUSTOMER : CONTRACTORS CORNER
 DATE: MARCH 27/23
 006-23 REV #1: X
 DRAWN BY : KCS REV #2: X

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 DRAFTING

161 POWELL PRESENT S.
 BOX 861
 SOURIS, MANITOBA
 R2K-2C8



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

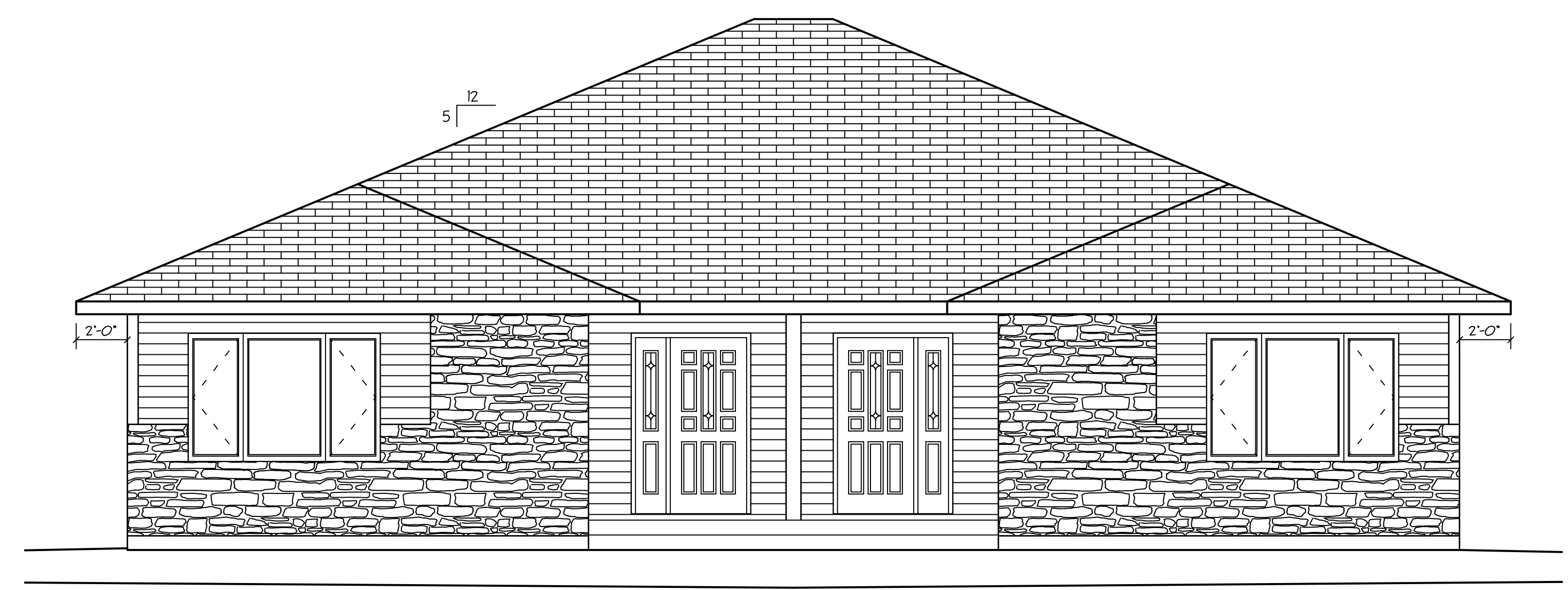
EAVESTROUGH AND DOWNSPOUTS TO BE SITE APPLIED IN A MANNER AS TO PREVENT SOIL EROSION AROUND THE HOUSE (M.B.C. ARTICLE 9.27.15)

ALTHOUGH NOT SHOWN ON THE ELEVATIONS, GUARDRAILS ARE REQUIRED ON THE EXTERIOR STEPS AND DECK.

GUARDRAILS FOR EXTERIOR STAIRS SHALL NOT BE LESS THAN 900mm (36") HIGH MEASURED VERTICALLY FROM A LINE DRAWN THROUGH THE OUTSIDE EDGES OF THE STAIR NOSING, AND 1070mm (42") IN HEIGHT AT LANDINGS (M.B.C. ARTICLE 9.8.8.1 M.B.C. ARTICLE 9.8.8.2)

GUARDRAILS FOR DECKS WHICH ARE NOT MORE THAN 18M (72') ABOVE GROUND ARE PERMITTED TO BE A MINIMUM OF 900mm (36") HIGH. GUARDRAILS FOR DECKS WHICH ARE MORE THAN 18M ABOVE GROUND ARE REQUIRED TO BE 1070mm (42") IN HEIGHT.

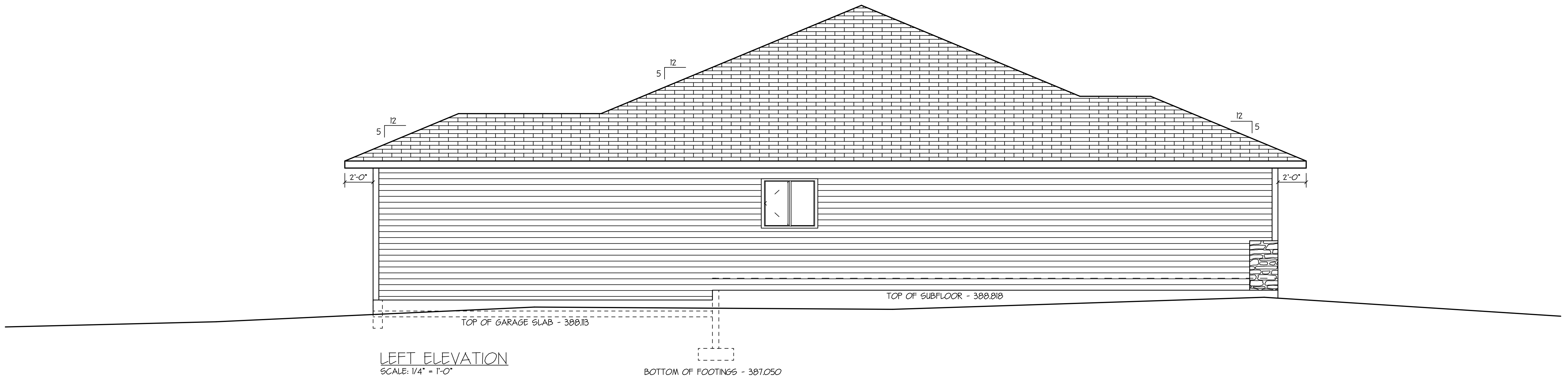
FLASHINGS IS REQUIRED OVER ALL EXTERIOR OPENINGS AND IN ALL ROOF VALLEYS. (M.B.C. ARTICLE 9.27.3.2(2) M.B.C. ARTICLE 9.26.4.2)



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

CUSTOMER : CONTRACTORS CORNER
DATE : MARCH 27/23
006-23 REV #1 : X
DRAWN BY : KCS REV #2 : X

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