



Planning & Building Safety Department
 638 Princess Avenue. Brandon MB. R7A 0P3
 T: 204.729.2110 F: 204.728.2406
 www.brandon.ca/planning

Amendment to Zoning By-law 6642

Name of Property Owner: City of Brandon
 Name of Applicant: Canadian Mental Health Association
 Civic Address of Property: 231 Rosser Avenue East
 Legal Description of Property: WLY 19.5 feet of Lot 2 & ELY 12.5 feet of Lot 3, Block 37, Plan 4

References:

BAPD Development Plan By-law No. 78/01/04
 Applicable Secondary Plan By-law
 City of Brandon Zoning By-Law No. 6642

Prior to submitting a formal application, the Planning & Building Safety Department strongly recommends that all applicants meet with a Community Planner to complete a pre-application review

Proposal: Currently zoned Industrial Restricted (IR) and we would like to rezone this to Residential low density (RLD)

I undertake to observe and perform all provisions of The Planning Act, the Development Plan, the Zoning By-law, and the provisions of other relevant laws, by-laws or agreements.

Signature of Owner: see attached letter Date: April 29, 2015

Address: 638 Princess Ave R7A 0P3 Brandon, MB E-Mail: t.marshall@brandon.ca
Street Address Postal Code City/Province

Home Phone: _____ Cell Phone: _____ Work Phone: 204-729-2232

Signature of Applicant:  Date: December 15, 2015

Address: 1233 Rosser Ave. R7A 0M1 Brandon, MB E-Mail: glen.cmha@gmail.com
Street Address Postal Code City/Province

Home Phone: _____ Cell Phone: 204-573-5357 Work Phone: 204-727-5425

The personal information which you are providing is being collected under the authority of The Planning Act and will be used for the purpose of approving this application. Information is also being collected for the purpose of statistical reporting. It is protected by the Protection of Privacy provisions of The Freedom of Information and Protection of Privacy Act. If you have any questions about the collection and/or use of information, contact Jennifer Houlihan, FIPPA Coordinator, City of Brandon Planning & Building Safety Department, 638 Princess Avenue Brandon, Manitoba, R7A 0P3, Telephone 204-729-2116

FOR PLANNING DEPARTMENT USE ONLY:			
Community Planner: <u>Robert Zilke</u>	Planning File No.: <u>2-03-15-B</u>	CityView No.: <u>PLZ BLA 2015-120</u>	
Date Application Received: <u>Dec. 16 / 15</u>	Payment Date: <u>Dec 16 / 15</u>	Receipt No.: <u>2015-3448</u>	Amount: <u>\$ 7,900.00</u>
	Re-Zoning - Application	<u>2015-3449</u>	REV01/13



Planning & Building Safety Department
638 Princess Avenue. Brandon MB. R7A 0P3
T: 204.729.2110 F: 204.728.2406

Application for Minor Subdivision

Name of Property Owner: City of Brandon
Name of Applicant: Canadian Mental Health Association (CMHA)
Civic Address of Property: 231 Rosser Avenue East
Legal Description of Property: WLY 19.5 feet of Lot 2 and ELY 12.5 feet of Lot 3
Block 37, Plan 4

References:

BAPD Development Plan By-law No. 78/01/04
Applicable Secondary Plan By-law
City of Brandon Zoning By-Law No. 6642

Prior to submitting a formal application, the Planning & Building Safety Department strongly recommends that all applicants meet with a Community Planner to complete a pre-application review

Subdivision Request: Condo bare land to allow each homeowner to have title on the property of the side by side (semidetached) affordable house. Subdivide existing lot into two semi detached units to allow for housing on two different land titles.

I undertake to observe and perform all provisions of The Planning Act, the Development Plan, the Zoning By-law, and the provisions of other relevant laws, by-laws or agreements.

Signature of Owner: see attached letter Date: April 29, 2015

Address: 638 Princess Ave R7A 0P3 Brandon MB E-Mail: t.marshall@brandon.ca

Home Phone: Cell Phone: Work Phone: 204-729-2232

Signature of Applicant: Date: December 15, 2015

Address: 1233 Rosser Ave R7A 0M1 Brandon, MB E-Mail: glen.cmha@gmail.com

Home Phone: Cell Phone: 204-573-5357 Work Phone: 204-727-5425

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FOR PLANNING DEPARTMENT USE ONLY:
Community Planner: Robert Zilke Planning File No.: 4500-15-625 CityView No.: PLSUB2015-119
Date Application Received: Dec. 16/15 Payment Date: Dec 16/15 Receipt No.: 2015-3448 Amount: 480.00
Minor Subdivision - Application 2015-3449 REV01/13

Development Information

Proposed Land Use(s)	Number of Units	Number of Lots	Total Land Area (m ²)
Detached			
Semi-Detached	2	1	529.547m ²
Two Family			
Multifamily			
Other Residential			
Parks and Open Space	N/A	N/A	
Industrial	N/A		
Commercial	N/A		
Institutional	N/A		
Roadway/Laneway ROW	N/A	N/A	
Other Non-Residential	N/A		
Totals	2	1	529.547m ²

Services

Sewage Disposal	Municipal Sewer	Septic Tank	Septic Field	Other City
Present N/A				
Proposed				✓
Water Supply	Piped Water	Community Well	Individual Well	Other City
Present N/A				
Proposed				✓
Drainage	Natural	Ditches	Curb & Gutter	Storm Sewer
Present N/A				
Proposed			✓	✓



TANYA MARSHALL
MANAGER OF PROPERTY ADMINISTRATION
DEVELOPMENT SERVICES DIVISION
638 Princess Avenue, Brandon, MB. R7A 0P3
Phone: (204) 729-2232 Fax: (204) 725-3235
Email: t.marshall@brandon.ca

April 29, 2015

Canadian Mental Health Association
23 – 12th Street
Brandon, MB
R7A 4L6

Attention: Glen Kruck:

Dear Mr. Kruck,

Re: Letter of Authorization ~ 231 Rosser Avenue East

I, Tanya Marshall, Manager of Property Administration for the City of Brandon as owner of 231 Rosser Avenue East do hereby authorize the Canadian Mental Health Association to proceed with an application for rezoning and/or subdivision prior to the transfer of the land in accordance with Tender No. #L-34/14 (HDB2014-002a).

Should you have any questions in this regard, please contact me.

Yours truly,

A handwritten signature in cursive script that reads "Tanya Marshall".

Tanya Marshall
Manager of Property Administration

c.c. Sandy Trudel, Economic Development



**Canadian Mental
Health Association**
Mental health for all

**Association canadienne
pour la santé mentale**
La santé mentale pour tous

WESTMAN REGION

1233 Rosser Avenue Brandon, Manitoba R7A 0M1
Community Education Office 204-727-5425
Community Housing And Support Services 204-726-8865
Building Re-Fit Store 204-728-2227
Fax: 204-571-6836
Email: cmha.westman@gmail.com

December 14, 2015

City of Brandon Planning & Building Safety Department
638 Princess Avenue
Brandon, MB R7A 0P3

To Whom It May Concern,

Re: Letter of Intent ~ 231 Rosser Avenue East

Canadian Mental Health Association (CMHA) is constructing a fifth and sixth Solution to End Poverty Permanently (STEPP) House that will be sold to two qualifying low income families. The house is a side by side (semidetached) located at 231 Rosser Avenue East (WLY 19.5 feet of Lot 2 and ELY 12.5 feet of Lot 3, Block 37, Plan 4). We are requesting to rezone this land to Residential Low Density (RLD), as it is currently zoned Industrial Restricted (MR). We are also requesting to subdivide this property, condo bare land, to allow each homeowner to have title on the property. This rezoning and subdivision will be compatible with the nature of the general area being housing. This rezoning and subdivision will not have detrimental or general welfare effects on people living or working in this area nor will it have any negative effects on other properties or potential development in the surrounding area.

Should you have any questions in this regard, please contact me at 204-727-5425 or 204-573-5357 or email glen.cmha@gmail.com.

Sincerely,

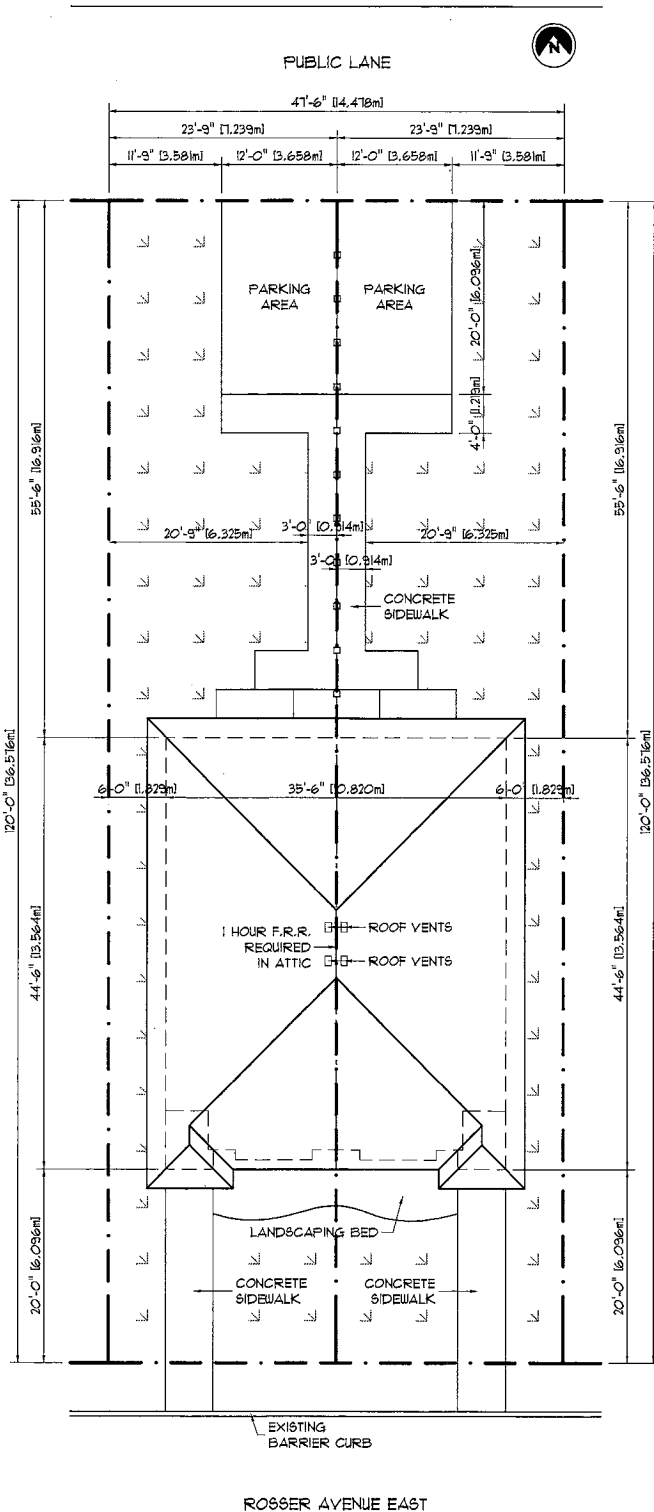
A handwritten signature in black ink, appearing to read 'Glen Kruck'. The signature is fluid and cursive, with a prominent loop at the end.

Glen Kruck
CMHA General Manager

“Remember there is no health without mental health”

231 ROSSER AVENUE EAST

LOT: 2/4 BLOCK: 37 PLAN: 4



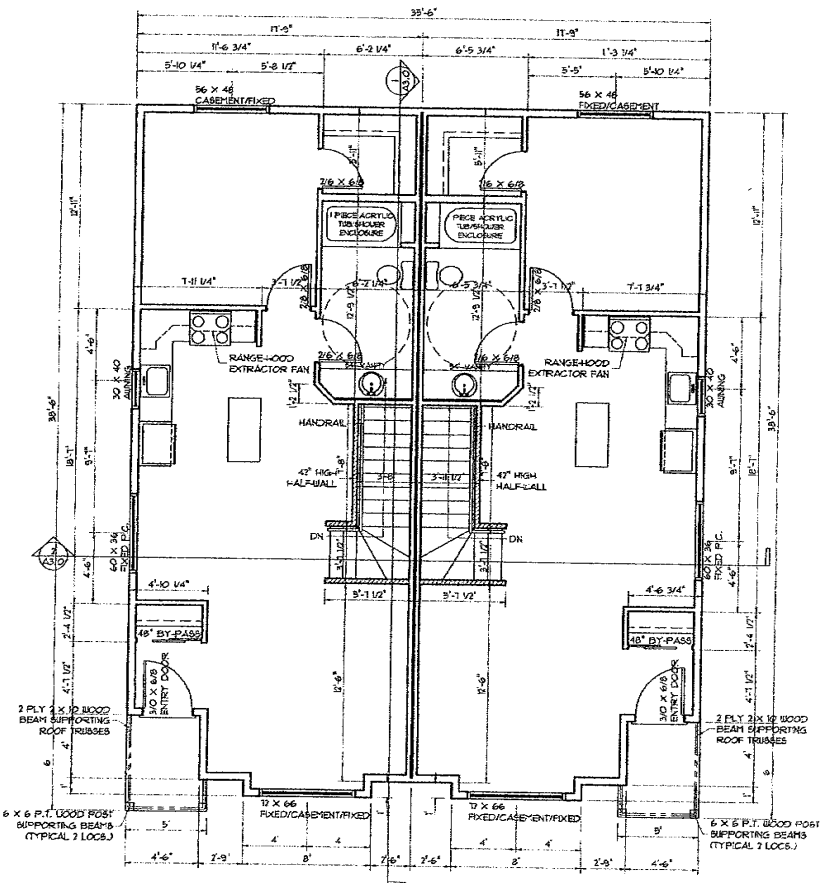
SITE PLAN

1:150

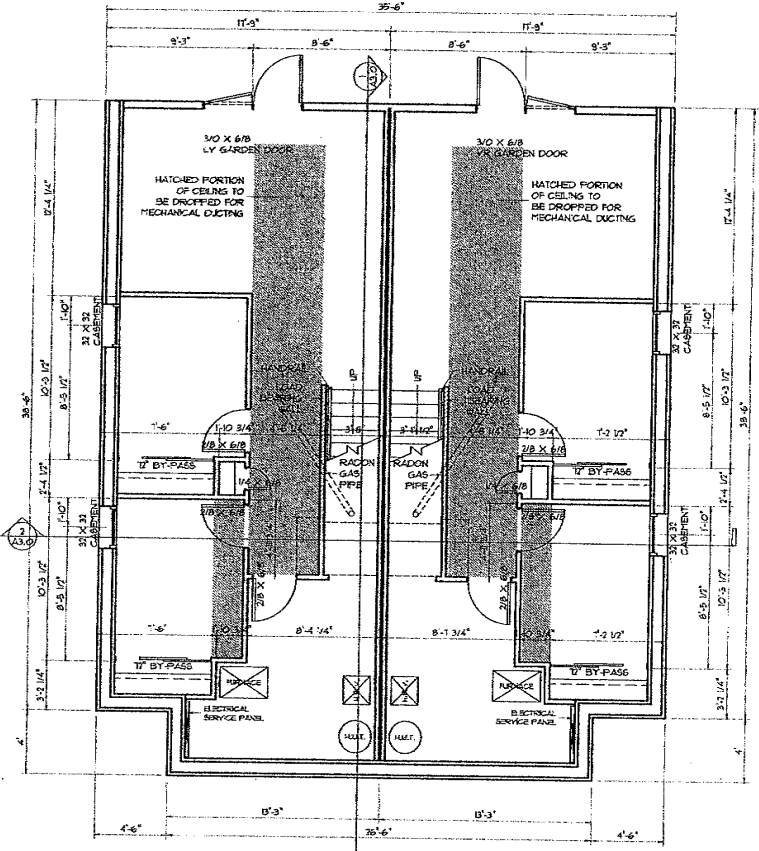


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833-4TH STREET N, BRANDON, MB R7A 2M9
204.727.4049 + RBURGESS@YBRDESIGN.CA



(A1) MAIN FLOOR PLAN
3/16" = 1"



(A2) FINISHED BASEMENT PLAN
3/16" = 1"

ARCHITECT STAFF

ENGINEER STAFF



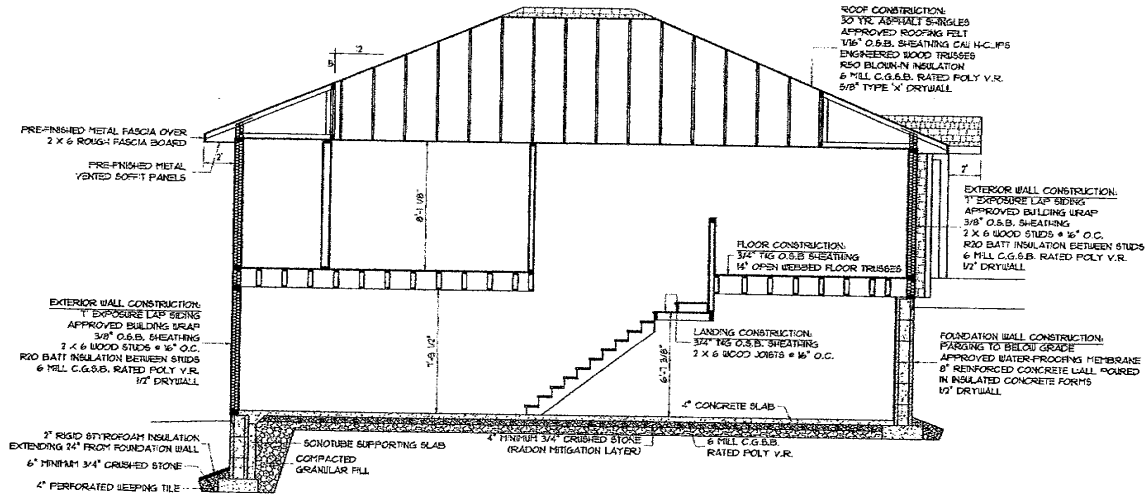
PROJECT NAME: 231 ROSSER AVENUE EAST
 SHEET NAME: MAIN FLOOR PLAN
 FINISHED BASEMENT PLAN
 DATE: 03/20/20
 DESIGNER: YBRDESIGN
 CHECKER: YBRDESIGN
 BY: YBRDESIGN
 APPROVED BY: R.B.
 ALL MEASUREMENTS TO BE FIELD VERIFIED BY GENERAL CONTRACTOR BEFORE COMMENCING WORK. ALL DISCREPANCIES TO BE REPORTED IN WRITING TO DESIGNER.

DATE	REVISION	BY

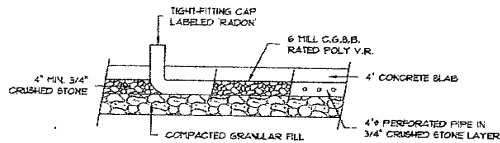
9-FEET NUMBER:
A1.0
FILE NUMBER: 2015.053

GENERAL NOTES:

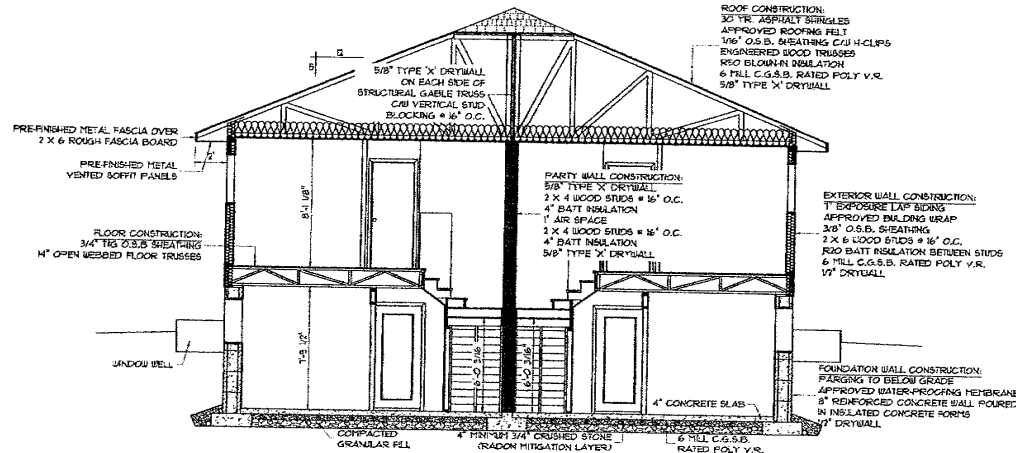
1. ALL CONCRETE BELOW GRADE REQUIRES DAMP-PROOFING AS PER ART. 9.12.1 OF THE MANITOBA BUILDING CODE 2010.
2. EXTERIOR STAIRS AND LANDINGS, WHERE DISTANCE FROM TOP OF STAIRS OR LANDING TO THE FINISHED GRADE IS GREATER THAN 24" BUT LESS THAN 17', REQUIRE GUARD RAILS 36" HIGH MEASURED VERT. FROM A LINE DRAIN THROUGH THE OUTSIDE EDGES OF STAIR NOSINGS & 36" HIGH AT LANDINGS, WHERE THE DISTANCE FROM TOP OF STAIRS OR LANDING TO FINISHED GRADE IS GREATER THAN 17'. GUARDS FOR STAIRS SHALL NOT BE LESS THAN 36" HIGH MEASURED VERT. FROM A LINE DRAIN THROUGH THE OUTSIDE EDGES OF STAIR NOSINGS & 41" HIGH AT LANDINGS OR BALCONIES. ALL GUARDS WITHIN DWELLING UNITS SHALL BE 36" HIGH AT STAIRS AND LANDINGS.
3. SMOKE ALARMS SHALL BE INSTALLED BY PERMANENT CONNECTION TO AN ELECTRICAL CIRCUIT AND SHALL HAVE NO DISCONNECT SWITCH BETWEEN THE OVERCURRENT DEVICE AND THE SMOKE ALARM, AS PER ART. 9.10.3.4 OF THE NBC 2010.
SMOKE ALARMS MUST BE INSTALLED ON EVERY FLOOR LEVEL, INCLUDING BASEMENTS, THAT IS 24" OR MORE ABOVE OR BELOW THE ADJACENT FLOOR LEVEL. SMOKE ALARMS ARE LOCATED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN THE SLEEPING ROOMS AND THE REMAINDER OF THE STORY AS PER ART. 9.10.1.3 OF THE NBC 2010. DISTANCE FROM ANY POINT ON A FLOOR LEVEL TO A SMOKE ALARM SHALL NOT EXCEED 45'.
SMOKE ALARMS SHALL CONFORM TO CAN / ULC -5951.
4. A CARBON MONOXIDE ALARM IS REQUIRED IN A RESIDENTIAL OCCUPANCY THAT SHARES A WALL OR FLOOR/CILING ASSEMBLY WITH A STORAGE GARAGE OR THAT IS ADJACENT TO AN ATTIC OR GARAGE SPACE TO WHICH THE STORAGE GARAGE IS ADJACENT. A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED AS PER ART. 9.31.3.3 OF THE NBC 2010.
5. RAFTERS/ROOFS WITH DOWNSPOUTS AND EXTENSIONS ARE REQUIRED TO DRAIN WATER AWAY FROM THE BUILDING. THE FINISHED GRADE AROUND THE BUILDING SHALL BE SLOPED AWAY FROM THE BUILDING TO HELP IN THE DRAINAGE OF WATER.
6. RESIDENTIAL STAIR DIMENSIONS AS PER ART. 9.8.4.1 OF THE NBC 2010
RISE = 181/4" MAX. HEIGHT
RUN = 8.260" MIN. TREAD 13.257" W/ NOSINGS
7. VENTILATION REQUIREMENTS, AS PER ART. 9.3 NBC 2010
-THE OUTDOOR AIR SUPPLY DUCT MUST BE CONNECTED TO THE RETURN AIR FLEET NOT LESS THAN 10' UPSTREAM OF THE BURNER OR HAVE AN ACCEPTABLE MIXING DEVICE.
-THE PRINCIPLE EXHAUST FAN MUST BE CONTROLLED BY A MANUAL SWITCH LOCATED CENTRALLY IN THE DWELLING UNIT AND CLEARLY MARKED "VENTILATION FAN", AND THE CONTROL MUST INCLUDE PROVISIONS TO ALLOW REDUCTION OF THE FAN'S FLOW TO WITHIN 50% OF THE TOTAL VENTILATION CAPACITY.
-BATHROOM AND BEDROOM DOORS REQUIRE AN UNDER CUT OF 1/2 OF AN INCH.
-THE KITCHEN PRINCIPAL EXHAUST DUCT IS REQUIRED TO BE FITTED WITH A GREASE FILTER.
8. ATTIC ACCESS HATCH REQUIRED - 20" X 26" MIN. DIMENSIONS AS PER ART. 9.3.11.1 OF THE NBC 2010 (LOCATION DETERMINED BY OWNER/CONTRACTOR).
9. FABRICATOR'S DRAWINGS OF FLOOR AND ROOF SYSTEM CERTIFIED BY A PROFESSIONAL ENGINEER, LICENSED TO PRACTICE IN MANITOBA WILL BE PROVIDED.
10. ALL BEDROOM WINDOWS ARE REQUIRED TO PROVIDE AN UNOBSTRUCTED OPENING WITH AREA NOT LESS THAN 3.8FT² AND NO DIMENSION LESS THAN 5" AS PER ART. 9.3.2.1 OF THE MANITOBA BUILDING CODE 2010
11. "CAB-OVER" FLOOR JOISTS MUST BE INSULATED TO MIN. R-28 AND VAPOR BARRIER INSTALLED & FREQUENTLY CLOSE TO WARE" SIZE AS PER ARTICLE 9.25.4.3 OF THE NBC 2010
12. DECKS THAT HAVE ANY ONE OF THE FOLLOWING MENTIONED ARTICLES MUST BE CONSTRUCTED AS PER ARTICLE 9.3.2.2 (2010 MANITOBA BUILDING CODE)
1. MORE THAN ONE STOREY
2. WITH A ROOF COVER
3. MORE THAN 500 SQ.FT.
4. DISTANCE FROM THE GROUND LEVEL TO THE UNDERSIDE OF DECK JOISTS EXCEEDS 24" OR
3. IS ATTACHED TO ANOTHER STRUCTURE UNLESS IT CAN BE DETERMINE THAT THE DIFFERENTIAL MOVEMENT WILL NOT ADVERSELY AFFECT THE PERFORMANCE OF THAT STRUCTURE.
13. LINTELS SUBJECT TO CONCENTRATED LOAD TO BE DESIGNED & SUPPLIED BY TRUSS MANUFACTURER
14. FLOORS ON GROUND SHALL BE EQUIPPED WITH A ROUGH IN FOR A SUBFLOOR DEPRESSURIZATION SYSTEM AS PER ART. 9.13.4.3 OF THE NBC 2010. CONSISTS OF A 4" PIPE INSTALLED THROUGH THE FLOOR, TO THE CENTER OF THE FLOOR, AND CAPPED ABOVE THE FLOOR WITH THE CAP LABELED "DEPRESSURIZATION SYSTEM"



1 BUILDING SECTION
3/16" x 1'



3 DEPRESSURIZATION ROUGH-IN
1/2" x 1'



2 BUILDING SECTION
3/16" x 1'

ARCHITECT STAMP:

ENGINEER STAMP:



PROJECT NAME:
231 ROSSER AVENUE EAST

DATE: 05/20/25
BY: [Signature]
CHECKED: [Signature]

REVISIONS

NO. DESCRIPTION

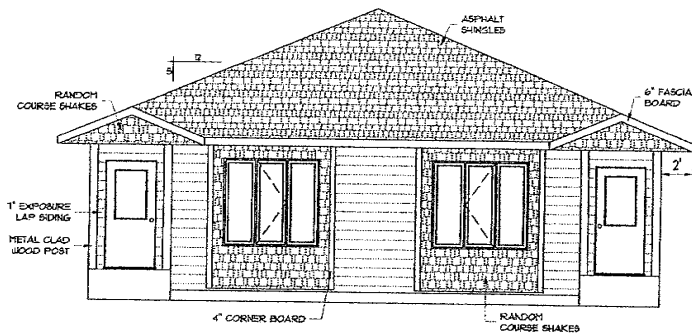
BY: [Signature]

DATE: [Signature]

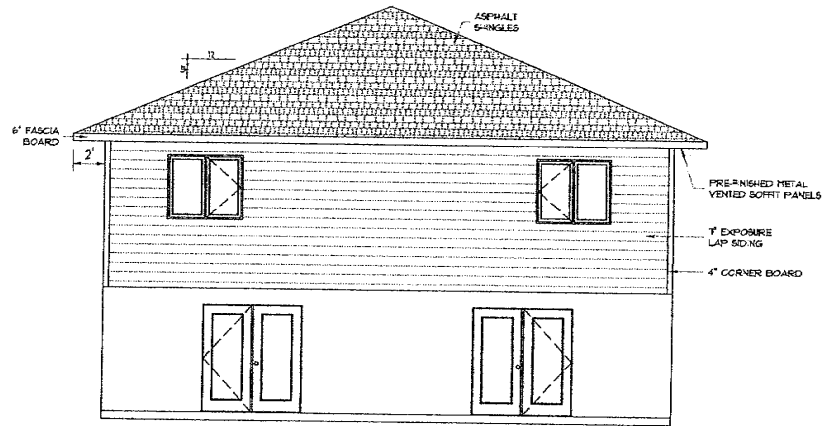
ALL MEASUREMENTS TO BE FIELD MEASURED FOR CONSTRUCTION. VERIFY ALL DIMENSIONS BEFORE COMMENCEMENT OF WORK. ALL DISCREPANCIES TO BE WORK REPORTED IN WRITING TO DESIGNER.

PROJECT NAME	231 ROSSER AVENUE EAST
SHEET NAME	BUILDING SECTIONS
DATE	05/20/25
BY	[Signature]
CHECKED	[Signature]
NO.	
DESCRIPTION	
BY	
DATE	

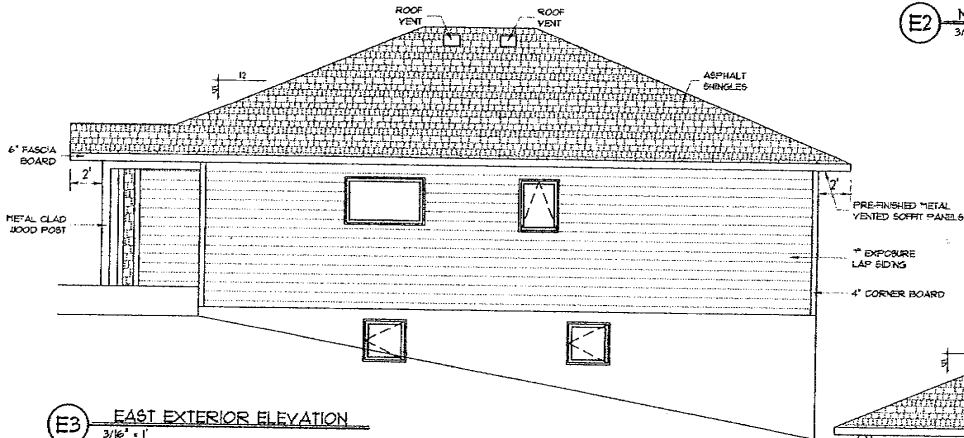
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A3.0



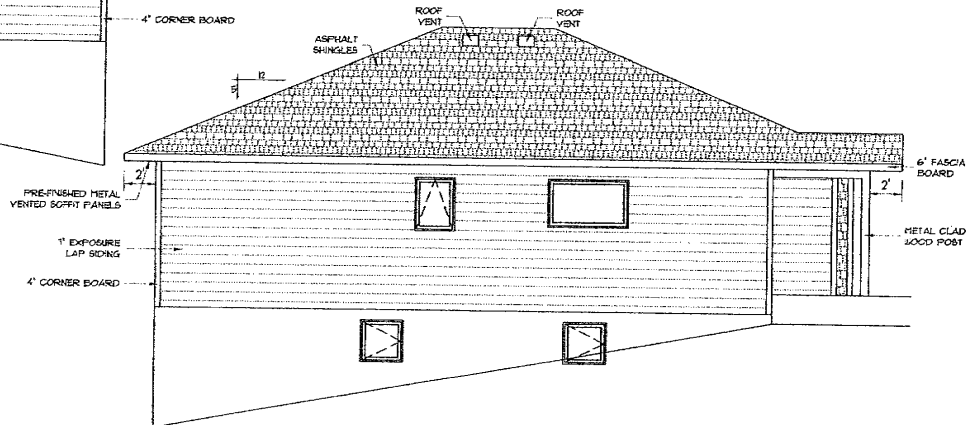
E1 SOUTH EXTERIOR ELEVATION
3/16" = 1'



E2 NORTH EXTERIOR ELEVATION
3/16" = 1'



E3 EAST EXTERIOR ELEVATION
3/16" = 1'



E4 WEST EXTERIOR ELEVATION
3/16" = 1'

ARCHITECT STAMP

ENGINEER STAMP



YBR DESIGN
533 4TH STREET N. BRANDON, AB 574 2M9
204 797 4047 • RECURS@YBRDESIGN.CA

DESIGN BY: **R.B.**
APPROVED BY:
ALL MEASUREMENTS TO BE FIELD VERIFIED BY CONTRACTOR BEFORE COMMENCEMENT OF WORK. ALL DISCREPANCIES TO BE REPORTED IN WRITING TO DESIGNER.

PROJECT NAME:	231 ROSSER AVENUE EAST
SHEET NAME:	EXTERIOR ELEVATIONS
REVISIONS:	
DATE:	05/20/2015
BY:	RECURS@YBRDESIGN.CA
APPROVED BY:	

SHEET NUMBER:

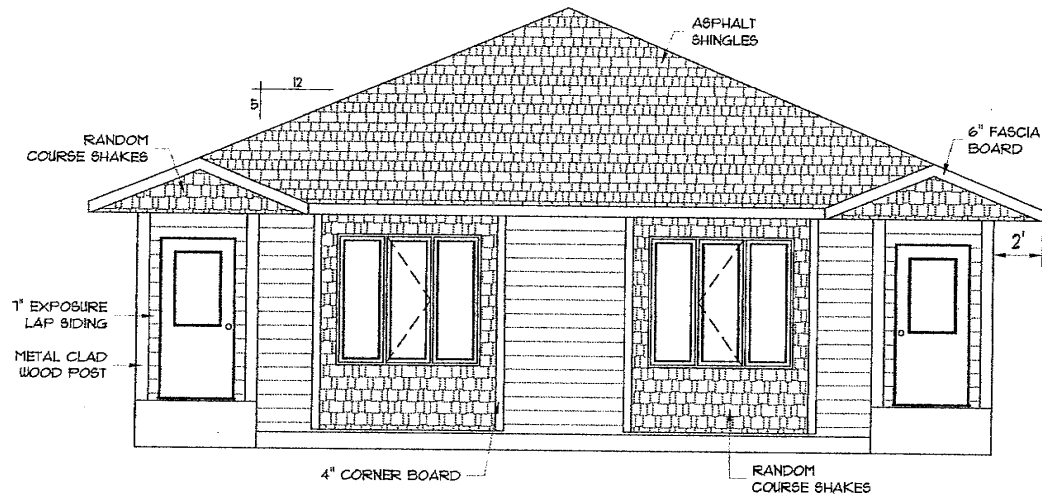
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FILE NUMBER: 2015_055

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231 ROSSER AVENUE EAST

LOT: 2/4 BLOCK: 31 PLAN: 4



E1 SOUTH EXTERIOR ELEVATION
1:60

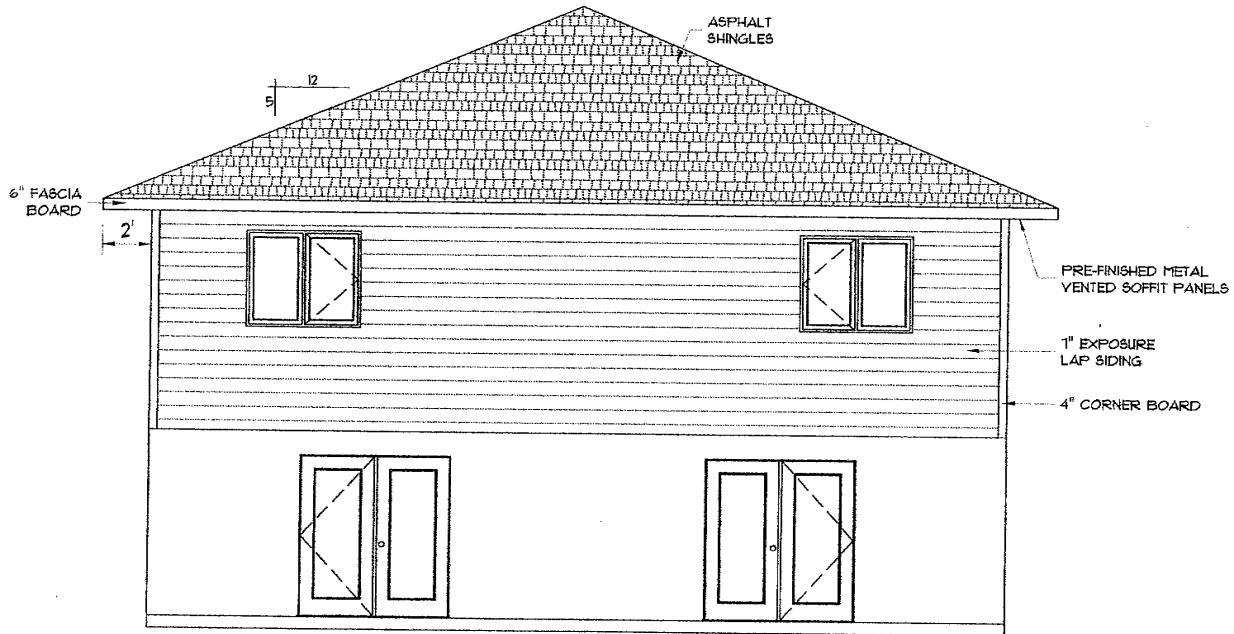


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231 ROSSER AVENUE EAST

LOT: 2/4 BLOCK: 31 PLAN: 4



E2 NORTH EXTERIOR ELEVATION
1:60

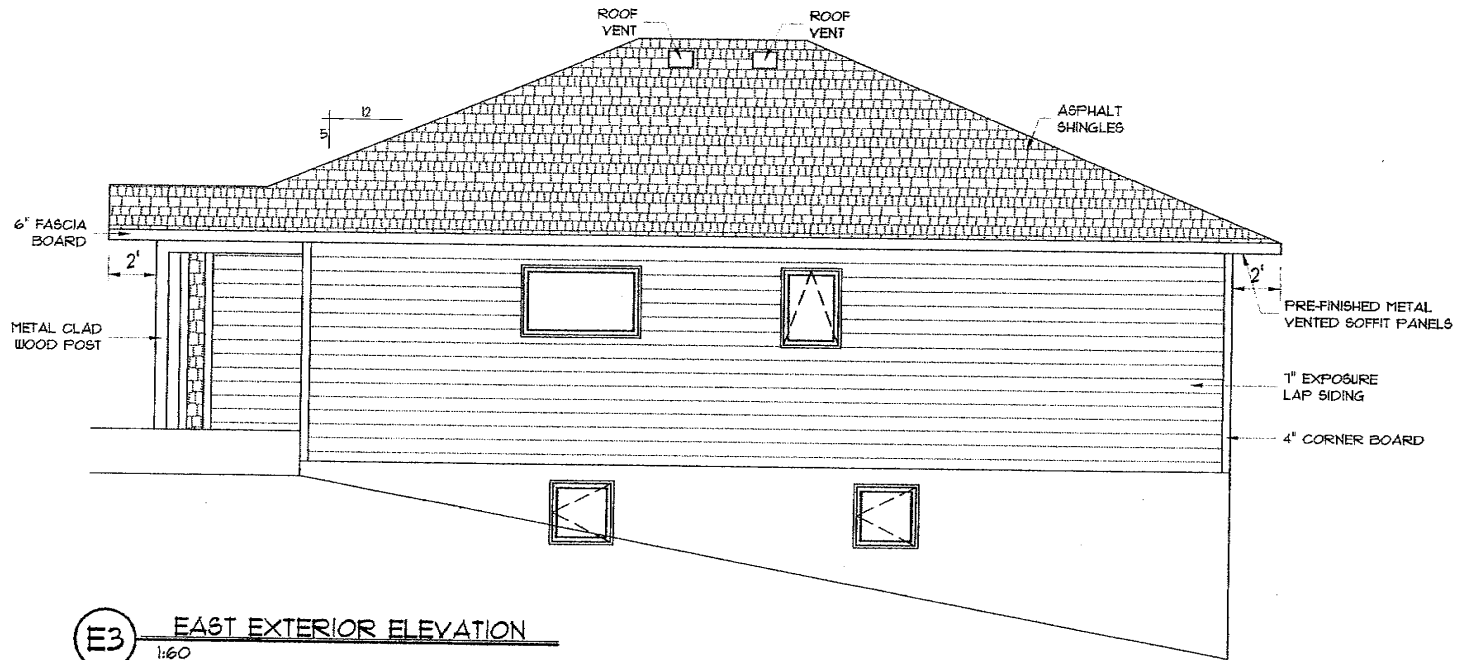


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231 ROSSER AVENUE EAST

LOT: 2/4 BLOCK: 3T PLAN: 4

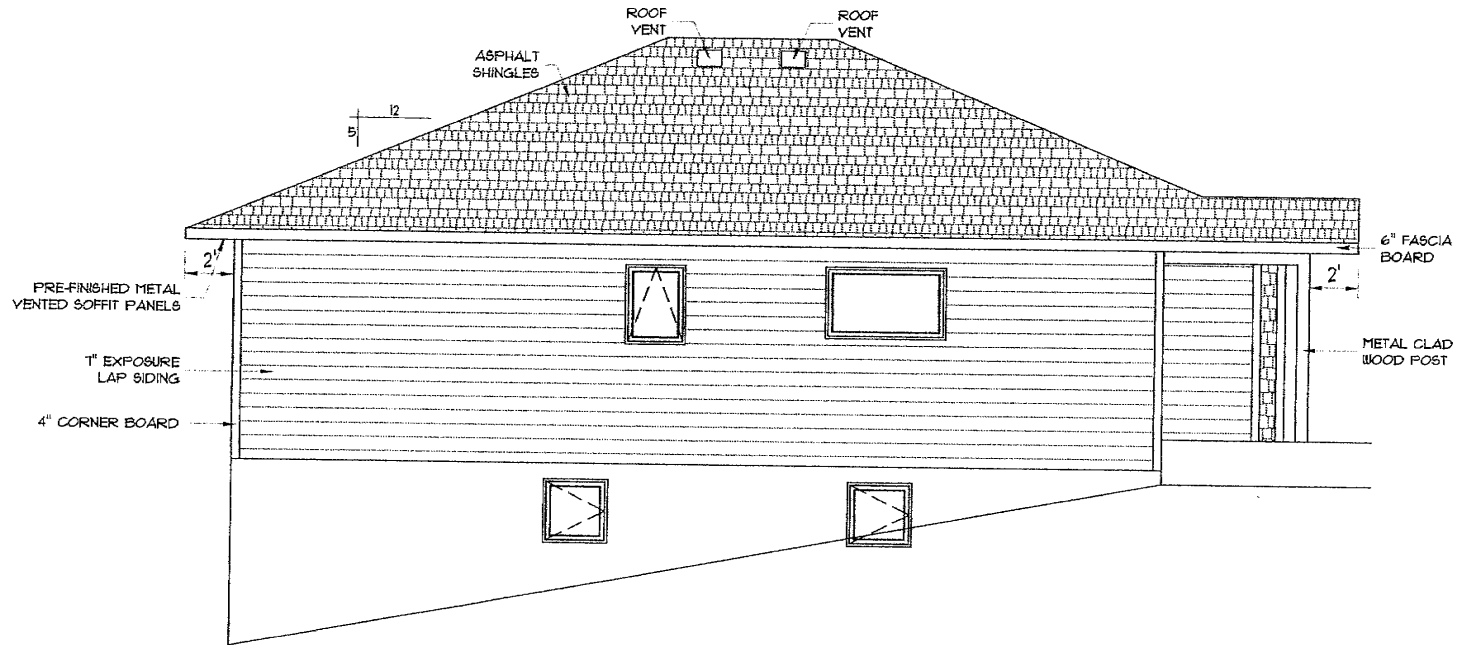


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231 ROSSER AVENUE EAST

LOT: 2/4 BLOCK: 31 PLAN: 4



E4 WEST EXTERIOR ELEVATION
1:60



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