

Schedule "A"



By-Law No. 7135
 Amending Schedule B of By-Law No. 7124
 Zoning By-Law Amendment Z-03-15-B
 231 Rosser Avenue East (Wly 19.5' of Lot 2 & Ely 12.5' of Lot 3, Block 37, Plan 4 BLTO)

0 5 10 20 Meters
 0 37.5 75 150 Feet

LEGEND

 Proposed lot(s) to be rezoned

IR - Industrial Restricted Zone
 RLD - Residential Low Density Zone

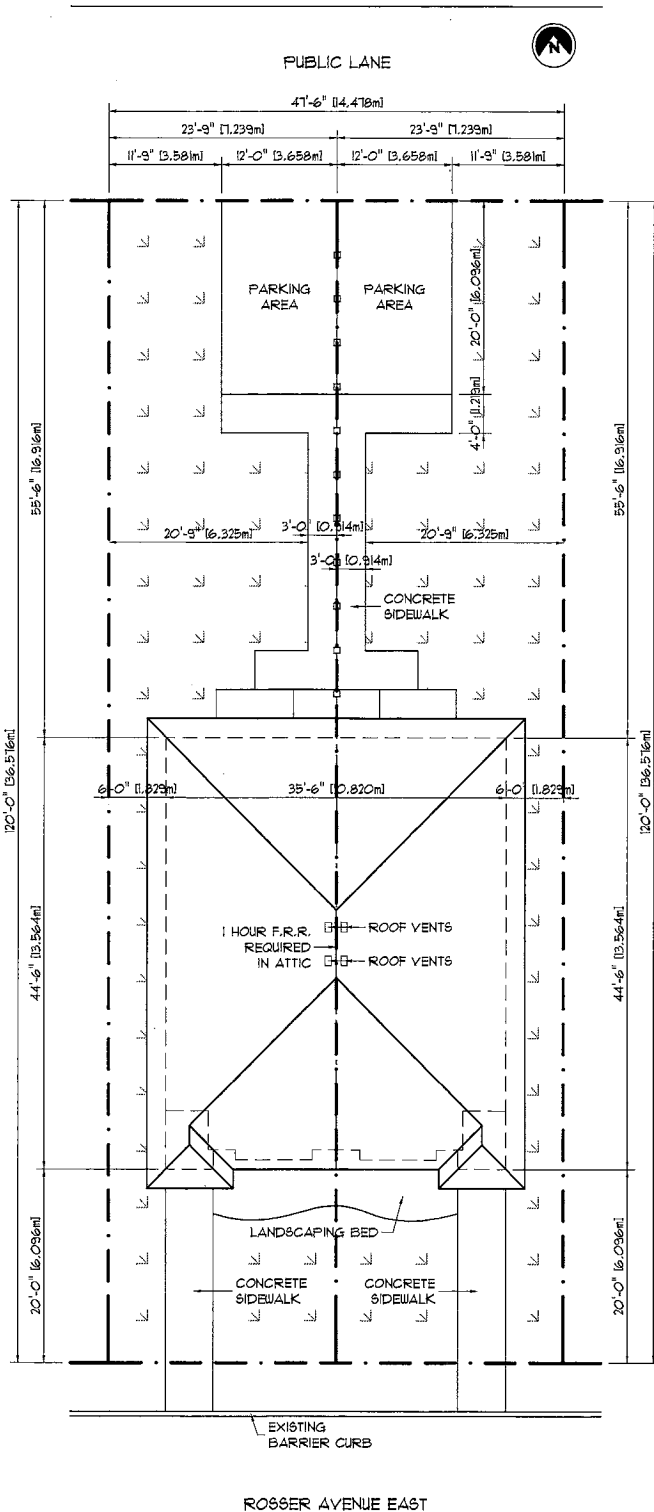
**City of Brandon
 Planning & Building
 Safety Department**




Map Created: 12/23/15
 Revised:

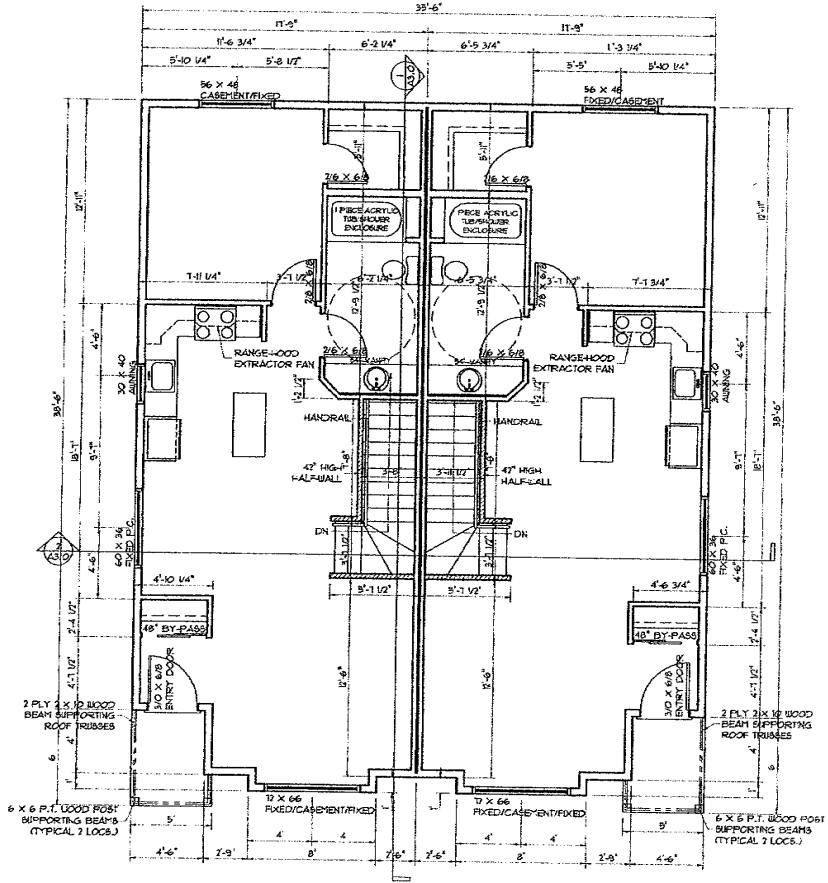
231 ROSSER AVENUE EAST

LOT: 2/4 BLOCK: 37 PLAN: 4

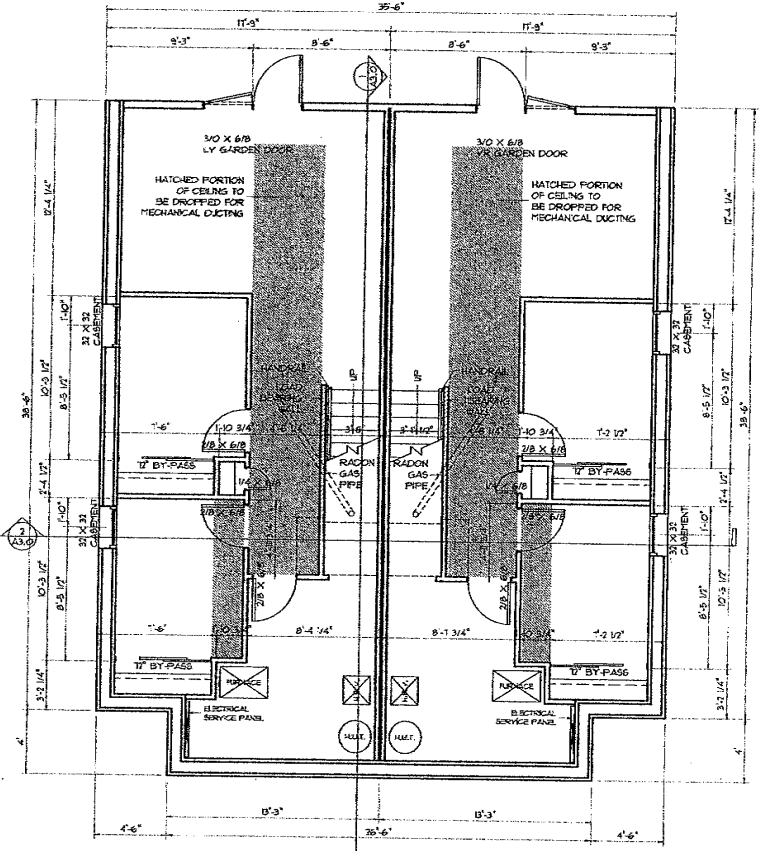


A SITE PLAN
1:150

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833-4TH STREET N, BRANDON, MB R7A 2M9
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(A1) MAIN FLOOR PLAN
3/16" = 1'



(A2) FINISHED BASEMENT PLAN
3/16" = 1'

ARCHITECT STAFF:

ENGINEER STAFF:



DRAWN BY: **R.B.**
 APPROVED BY:

ALL MEASUREMENTS TO BE FIELD
 VERIFIED BY GENERAL CONTRACTOR
 BEFORE COMMENCING WORK.
 ALL DISCREPANCIES TO BE
 REPORTED IN WRITING TO DESIGNER.

PROJECT NAME: **231 ROSSER AVENUE EAST**

SHEET NAME: **MAIN FLOOR PLAN
FINISHED BASEMENT PLAN**

DATE	REVISION	BY
03/20/23	BASED ON EXISTENT AS-BUILT DRAWING	RB

9'-FEET NUMBER:

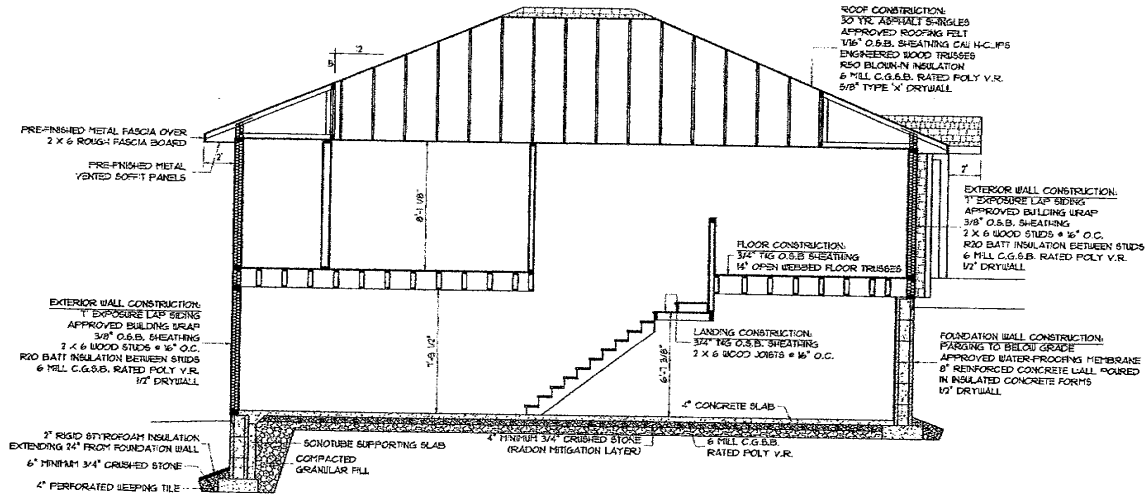
A1.0

FILE NUMBER: 2015.053

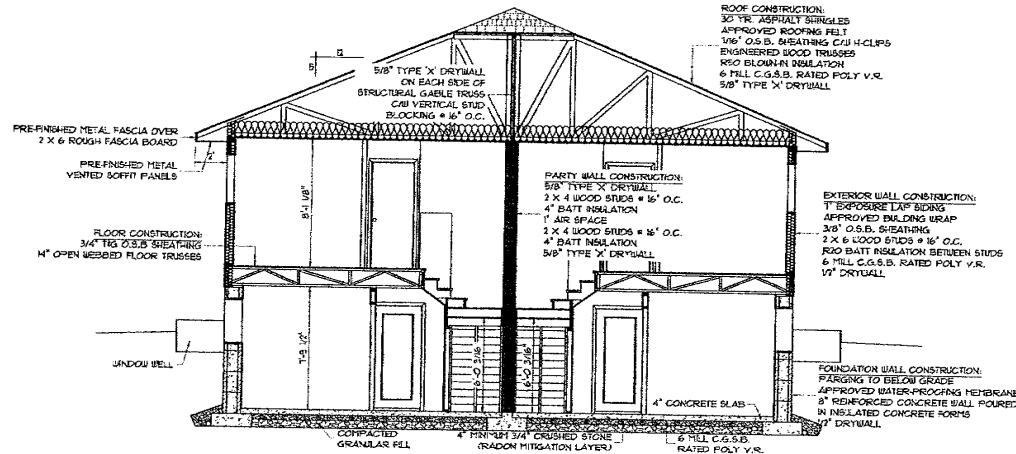
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GENERAL NOTES:

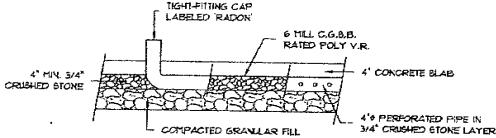
- ALL CONCRETE BELOW GRADE REQUIRES DAMP-PROOFING AS PER ART. 9.12.2 OF THE MANITOBA BUILDING CODE 2010.
- EXTERIOR STAIRS AND LANDINGS, WHERE DISTANCE FROM TOP OF STAIRS OR LANDING TO THE FINISHED GRADE IS GREATER THAN 24" BUT LESS THAN 17', REQUIRE GUARD RAILS 36" HIGH MEASURED VERT. FROM A LINE DRAIN THROUGH THE OUTSIDE EDGES OF STAIR NOSINGS & 36" HIGH AT LANDINGS. WHERE THE DISTANCE FROM TOP OF STAIRS OR LANDING TO FINISHED GRADE IS GREATER THAN 17', GUARDS FOR STAIRS SHALL NOT BE LESS THAN 36" HIGH MEASURED VERT. FROM A LINE DRAIN THROUGH THE OUTSIDE EDGES OF STAIR NOSINGS & 42" HIGH AT LANDINGS OR BALCONIES. ALL GUARDS WITHIN DWELLING UNITS SHALL BE 36" HIGH AT STAIRS AND LANDINGS.
- SMOKE ALARMS SHALL BE INSTALLED BY PERMANENT CONNECTION TO AN ELECTRICAL CIRCUIT AND SHALL HAVE NO DISCONNECT SWITCH BETWEEN THE OVERCURRENT DEVICE AND THE SMOKE ALARM. AS PER ART. 9.10.3.4 OF THE NBC 2010.
SMOKE ALARMS MUST BE INSTALLED ON EVERY FLOOR LEVEL, INCLUDING BASEMENTS, THAT IS 24" OR MORE ABOVE OR BELOW THE ADJACENT FLOOR LEVEL. SMOKE ALARMS ARE LOCATED IN EACH SLEEPING ROOM AND IN A LOCATION BETWEEN THE SLEEPING ROOMS AND THE REMAINDER OF THE STORY AS PER ART. 9.10.1.3 OF THE NBC 2010. DISTANCE FROM ANY POINT ON A FLOOR LEVEL TO A SMOKE ALARM SHALL NOT EXCEED 45'.
SMOKE ALARMS SHALL CONFORM TO CAN / ULC -5951.
- A CARBON MONOXIDE ALARM IS REQUIRED IN A RESIDENTIAL OCCUPANCY THAT SHARES A WALL OR FLOOR/CILING ASSEMBLY WITH A STORAGE GARAGE OR THAT IS ADJACENT TO AN ATTIC OR GARAGE SPACE TO WHICH THE STORAGE GARAGE IS ADJACENT. A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED AS PER ART. 9.31.3.3 OF THE NBC 2010.
- RAVENSPOUTS WITH DOWNSPOUTS AND EXTENSIONS ARE REQUIRED TO DRAIN WATER AWAY FROM THE BUILDING. THE FINISHED GRADE AROUND THE BUILDING SHALL BE SLOPED AWAY FROM THE BUILDING TO HELP IN THE DRAINAGE OF WATER.
- RESIDENTIAL STAIR DIMENSIONS AS PER ART. 9.8.4.1 OF THE NBC 2010
RISE = 181/4" MAX. HEIGHT
RUN = 8.260" MIN. TREAD 13.257" MIN. NOSING
- VENTILATION REQUIREMENTS, AS PER ART. 9.3 NBC 2010
-THE OUTDOOR AIR SUPPLY DUCT MUST BE CONNECTED TO THE RETURN AIR PLenum NOT LESS THAN 10' UPSTREAM OF THE BURNER OR HAVE AN ACCEPTABLE MIXING DEVICE.
-THE PRINCIPLE EXHAUST FAN MUST BE CONTROLLED BY A MANUAL SWITCH LOCATED CENTRALLY IN THE DWELLING UNIT AND CLEARLY MARKED "VENTILATION FAN", AND THE CONTROL MUST INCLUDE PROVISIONS TO ALLOW REDUCTION OF THE FAN'S FLOW TO WITHIN 50% OF THE TOTAL VENTILATION CAPACITY.
-BATHROOM AND BEDROOM DOORS REQUIRE AN UNDER CUT OF 1/2 OF AN INCH.
-THE KITCHEN PRINCIPAL EXHAUST DUCT IS REQUIRED TO BE FITTED WITH A GREASE FILTER.
- ATTIC ACCESS HATCH REQUIRED - 20" X 26" MIN. DIMENSIONS AS PER ART. 9.3.11.1 OF THE NBC 2010 (LOCATION DETERMINED BY OWNER/CONTRACTOR).
- FABRICATOR'S DRAWINGS OF FLOOR AND ROOF SYSTEM CERTIFIED BY A PROFESSIONAL ENGINEER, LICENSED TO PRACTICE IN MANITOBA WILL BE PROVIDED.
- ALL BEDROOM WINDOWS ARE REQUIRED TO PROVIDE AN UNOBSTRUCTED OPENING WITH AREA NOT LESS THAN 3.8FT² AND NO DIMENSION LESS THAN 5" AS PER ART. 9.3.2.1 OF THE MANITOBA BUILDING CODE 2010
- "CAB-OVER" FLOOR JOISTS MUST BE INSULATED TO MIN. R-28 AND VAPOR BARRIER INSTALLED & FREQUENTLY CLOSE TO WARE" SIZE AS PER ARTICLE 9.25.4.3 OF THE NBC 2010
- DECKS THAT HAVE ANY ONE OF THE FOLLOWING MENTIONED ARTICLES MUST BE CONSTRUCTED AS PER ARTICLE 9.3.2.2 (2010 MANITOBA BUILDING CODE)
1. MORE THAN ONE STOREY
2. WITH A ROOF COVER
3. MORE THAN 500 SQ.FT.
4. DISTANCE FROM THE GROUND LEVEL TO THE UNDERSIDE OF DECK JOISTS EXCEEDS 24" OR
5. IS ATTACHED TO ANOTHER STRUCTURE UNLESS IT CAN BE DETERMINE THAT THE DIFFERENTIAL MOVEMENT WILL NOT ADVERSELY AFFECT THE PERFORMANCE OF THAT STRUCTURE.
- LINTEL SUBJECT TO CONCENTRATED LOAD TO BE DESIGNED & SUPPLIED BY TRUSS MANUFACTURER
- FLOORS ON GROUND SHALL BE EQUIPPED WITH A ROUGH IN FOR A SUBFLOOR DEPRESSURIZATION SYSTEM AS PER ART. 9.13.4.3 OF THE NBC 2010. CONSISTS OF A 4" PIPE INSTALLED THROUGH THE FLOOR TO THE CENTER OF THE FLOOR, AND CAPPED ABOVE THE FLOOR WITH THE CAP LABELED "DEPRESSURIZATION SYSTEM"



1 BUILDING SECTION
3/16" = 1'



2 BUILDING SECTION
3/16" = 1'



3 DEPRESSURIZATION ROUGH-IN
1/2" = 1'

ARCHITECT STAMP

ENGINEER STAMP

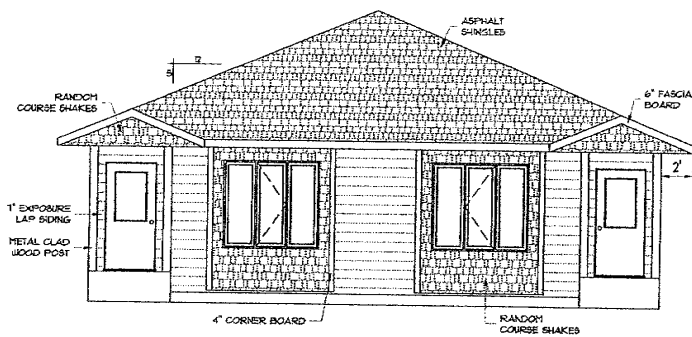


PROJECT NAME: 231 ROSSER AVENUE EAST
SHEET NAME: BUILDING SECTIONS
DATE: 05/20/20
BY: R.B.
CHECKED: R.B.
REVISIONS: NONE

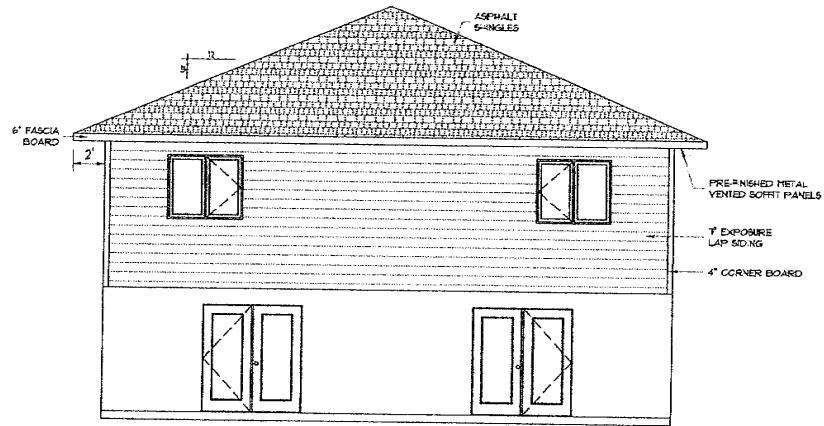
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SHEET NAME	BUILDING SECTIONS
DATE	05/20/20
BY	R.B.
CHECKED	R.B.
REVISIONS	NONE

SHEET NUMBER: **A3.0**

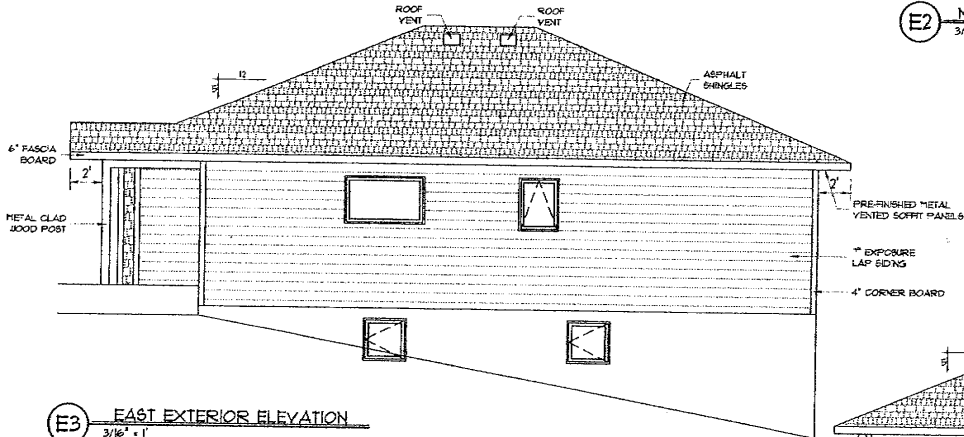
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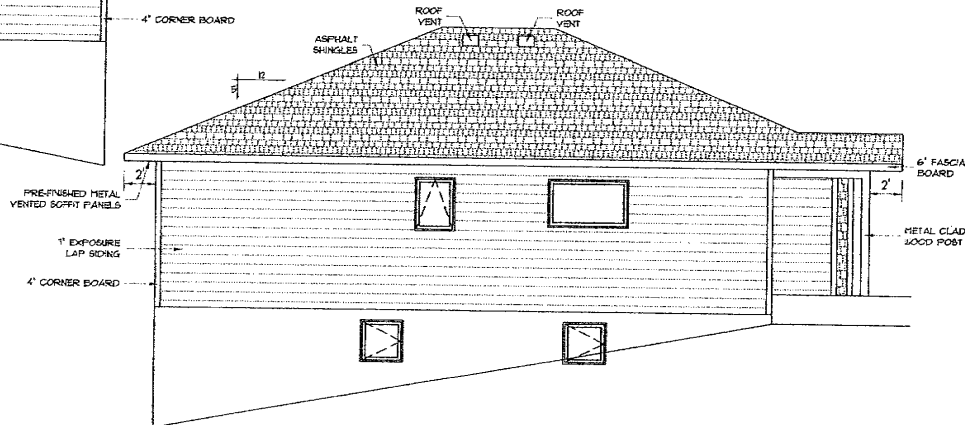
E1 SOUTH EXTERIOR ELEVATION
3/16" = 1'



E2 NORTH EXTERIOR ELEVATION
3/16" = 1'



E3 EAST EXTERIOR ELEVATION
3/16" = 1'



E4 WEST EXTERIOR ELEVATION
3/16" = 1'

ARCHITECT STAMP

ENGINEER STAMP



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DESIGN BY: **R.B.**
APPROVED BY:
ALL MEASUREMENTS TO BE FIELD VERIFIED BY CONTRACTOR BEFORE COMMENCEMENT OF WORK. ALL DISCREPANCIES TO BE REPORTED IN WRITING TO DESIGNER.

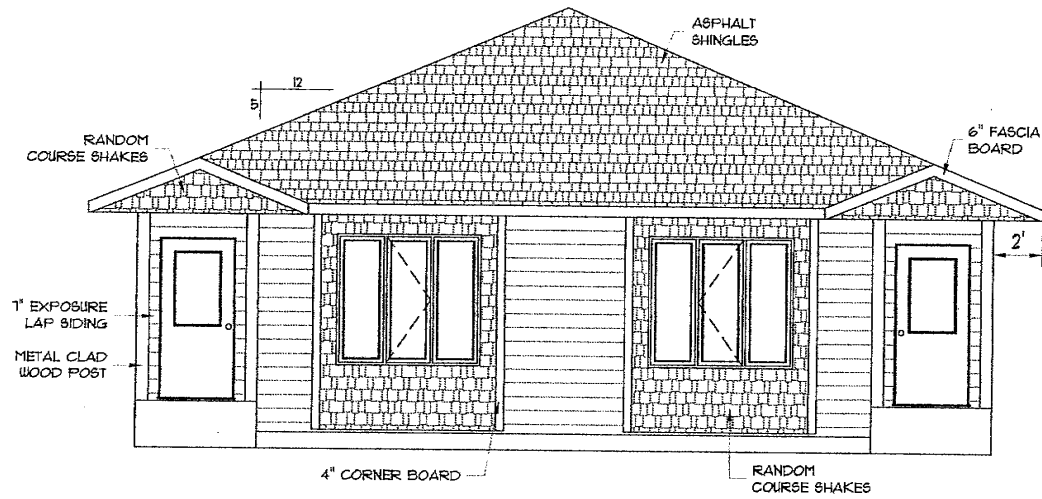
PROJECT NAME:	221 ROSSER AVENUE EAST
SHEET NAME:	EXTERIOR ELEVATIONS
REVISIONS:	
DATE:	05/20/2015
BY:	R.B.
APPROVED BY:	
SHEET NUMBER:	

A2.0
FILE NUMBER: 2015_055

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231 ROSSER AVENUE EAST

LOT: 2/4 BLOCK: 31 PLAN: 4



E1 SOUTH EXTERIOR ELEVATION
1:60

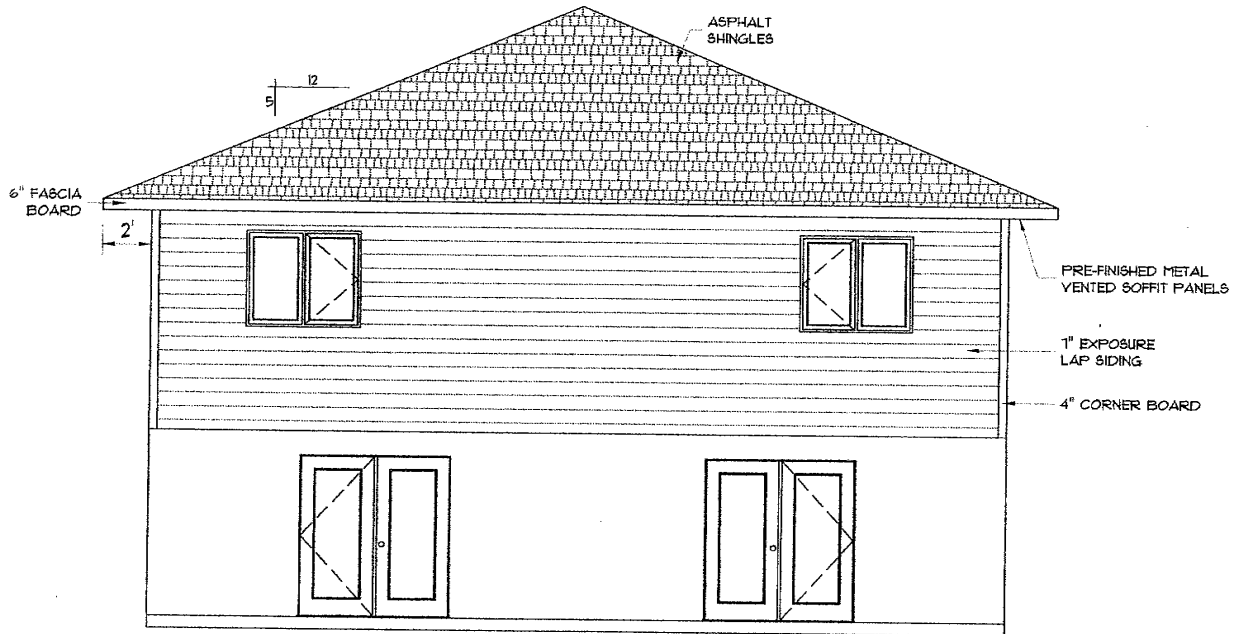


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231 ROSSER AVENUE EAST

LOT: 2/4 BLOCK: 31 PLAN: 4



E2 NORTH EXTERIOR ELEVATION
1:60

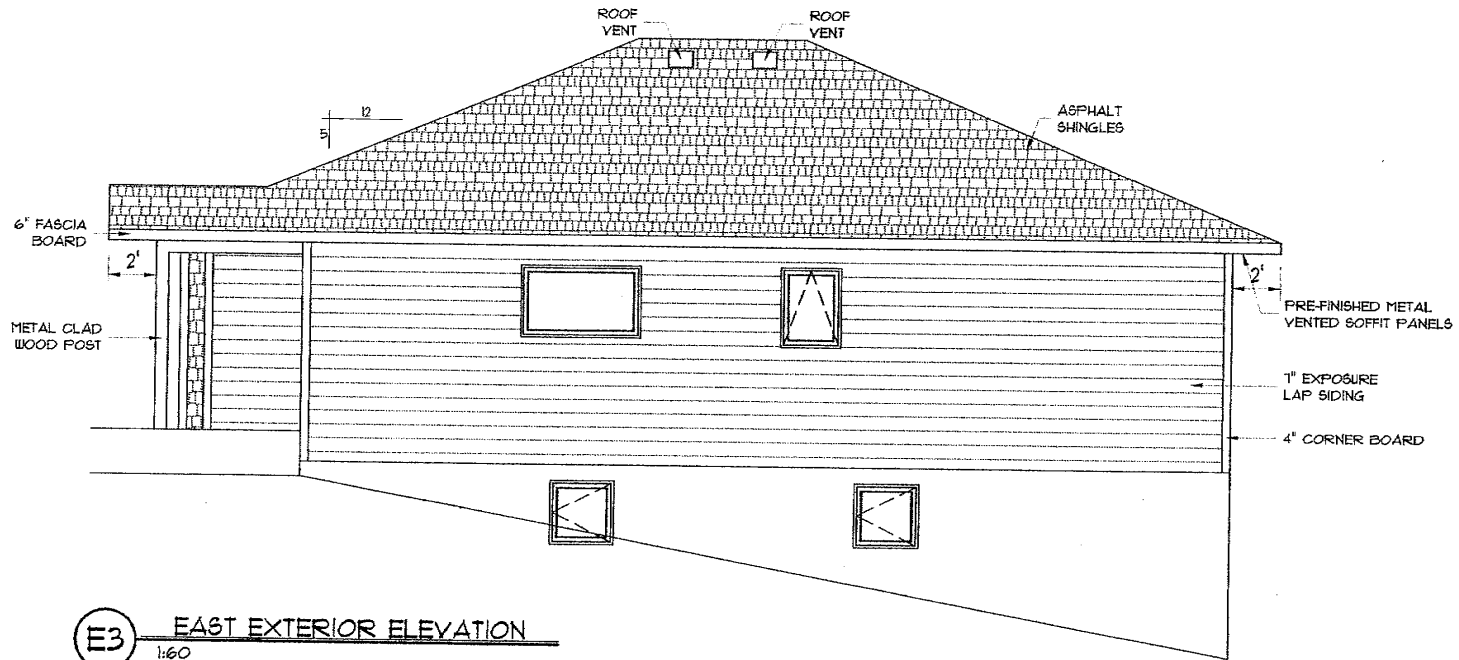


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231 ROSSER AVENUE EAST

LOT: 2/4 BLOCK: 3T PLAN: 4



2015.093 - 15.12.01

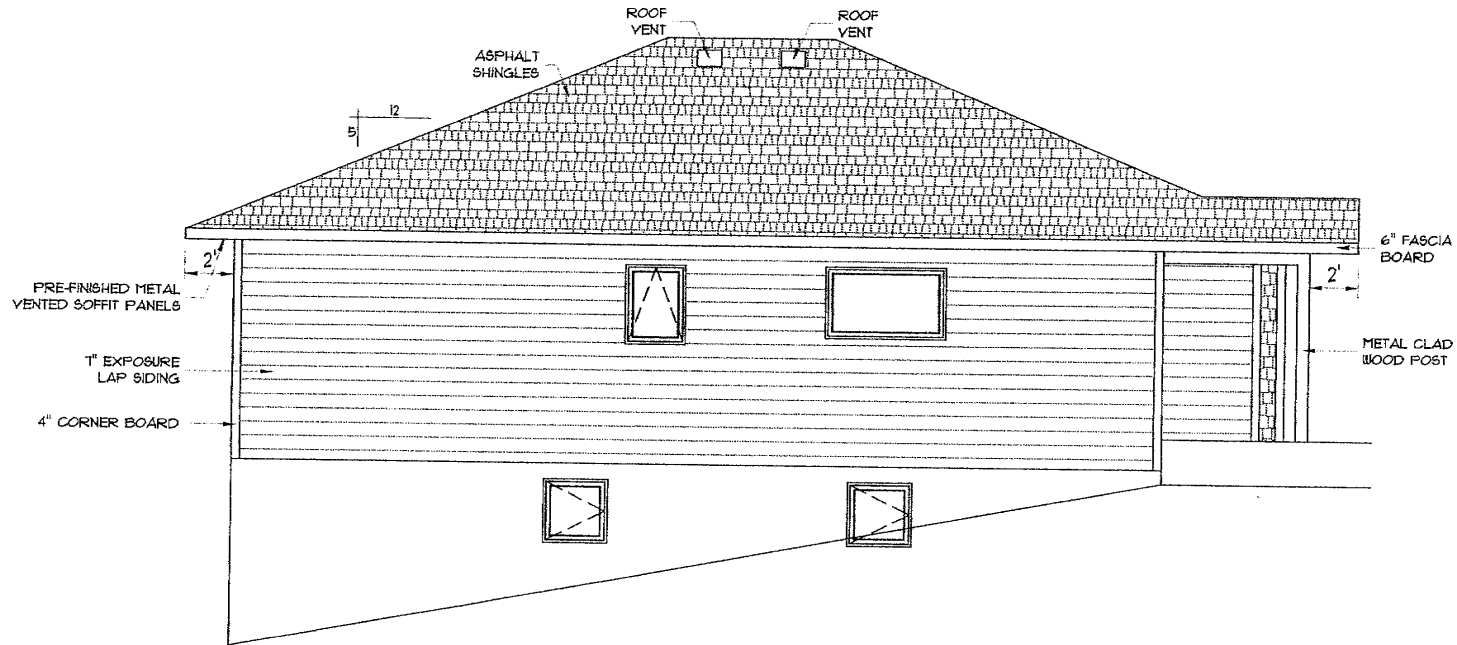


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231 ROSSER AVENUE EAST

LOT: 2/4 BLOCK: 31 PLAN: 4



E4 WEST EXTERIOR ELEVATION
1:60



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