



Planning & Building Safety Department  
638 Princess Avenue. Brandon MB. R7A 0P3  
T: 204.729.2110 F: 204.728.2406

**Application for Minor Subdivision**

Name of Property Owner: City of Brandon  
Name of Applicant: Canadian Mental Health Association (CMHA)  
Civic Address of Property: 231 Rosser Avenue East  
Legal Description of Property: WLY 19.5 feet of Lot 2 and ELY 12.5 feet of Lot 3  
Block 37, PLAN 4

**References:**

BAPD Development Plan By-law No. 78/01/04  
Applicable Secondary Plan By-law  
City of Brandon Zoning By-Law No. 6642

*\*\*Prior to submitting a formal application, the Planning & Building Safety Department strongly recommends that all applicants meet with a Community Planner to complete a pre-application review\*\**

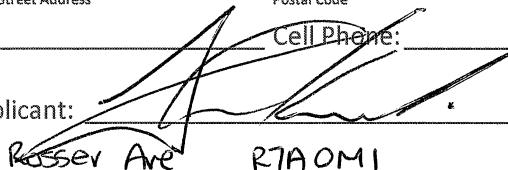
Subdivision Request: Condo bare land to allow each homeowner  
to have title on the property of the side by side (semidetached)  
affordable house. Subdivide existing lot into two semi detached units  
to allow for housing on two different land titles.

*I undertake to observe and perform all provisions of The Planning Act, the Development Plan, the Zoning By-law, and the provisions of other relevant laws, by-laws or agreements.*

Signature of Owner: see attached letter Date: April 29, 2015

Address: 638 Princess Ave R7A 0P3 Brandon MB E-Mail: t.marshall@brandon.ca  
Street Address Postal Code City/Province

Home Phone: \_\_\_\_\_ Cell Phone: \_\_\_\_\_ Work Phone: 204-729-2232

Signature of Applicant:  Date: December 15, 2015

Address: 1233 Rosser Ave R7A 0M1 Brandon, MB E-Mail: glen.cmha@gmail.com  
Street Address Postal Code City/Province

Home Phone: \_\_\_\_\_ Cell Phone: 204-573-5357 Work Phone: 204-727-5425

The personal information which you are providing is being collected under the authority of The Planning Act and will be used for the purpose of approving this application. Information is also being collected for the purpose of statistical reporting. It is protected by the Protection of Privacy provisions of The Freedom of Information and Protection of Privacy Act. If you have any questions about the collection and/or use of information, contact Jennifer Houllihan, FIPPA Coordinator, City of Brandon Planning & Building Safety Department, 421 - 9th Street, Brandon, Manitoba, R7A 4A9, Telephone 204-729-2116

<b>FOR PLANNING DEPARTMENT USE ONLY:</b>			
Community Planner: <u>Robert Zilke</u>	Planning File No.: <u>4500-15-625</u>	CityView No.: <u>PLSUB2015-119</u>	
Date Application Received: <u>Dec. 16/15</u>	Payment Date: <u>Dec 16/15</u>	Receipt No.: <u>2015-3448</u>	Amount: <u>480.00</u>
	Minor Subdivision - Application	<u>2015-3449</u>	REV01/13

Development Information

Proposed Land Use(s)	Number of Units	Number of Lots	Total Land Area (m <sup>2</sup> )
Detached			
Semi-Detached	2	1	529.547m <sup>2</sup>
Two Family			
Multifamily			
Other Residential			
Parks and Open Space	N/A	N/A	
Industrial	N/A		
Commercial	N/A		
Institutional	N/A		
Roadway/Laneway ROW	N/A	N/A	
Other Non-Residential	N/A		
<b>Totals</b>	<b>2</b>	<b>1</b>	<b>529.547m<sup>2</sup></b>

Services

<b>Sewage Disposal</b>	<b>Municipal Sewer</b>	<b>Septic Tank</b>	<b>Septic Field</b>	<b>Other City</b>
Present N/A				
Proposed				✓
<b>Water Supply</b>	<b>Piped Water</b>	<b>Community Well</b>	<b>Individual Well</b>	<b>Other City</b>
Present N/A				
Proposed				✓
<b>Drainage</b>	<b>Natural</b>	<b>Ditches</b>	<b>Curb &amp; Gutter</b>	<b>Storm Sewer</b>
Present N/A				
Proposed			✓	✓



**Canadian Mental  
Health Association**  
*Mental health for all*

**Association canadienne  
pour la santé mentale**  
*La santé mentale pour tous*

**WESTMAN REGION**

**1233 Rosser Avenue Brandon, Manitoba R7A 0M1**  
**Community Education Office 204-727-5425**  
**Community Housing And Support Services 204-726-8865**  
**Building Re-Fit Store 204-728-2227**  
**Fax: 204-571-6836**  
**Email: [cmha.westman@gmail.com](mailto:cmha.westman@gmail.com)**

December 14, 2015

City of Brandon Planning & Building Safety Department  
638 Princess Avenue  
Brandon, MB R7A 0P3

To Whom It May Concern,

Re: Letter of Intent ~ 231 Rosser Avenue East

Canadian Mental Health Association (CMHA) is constructing a fifth and sixth Solution to End Poverty Permanently (STEPP) House that will be sold to two qualifying low income families. The house is a side by side (semidetached) located at 231 Rosser Avenue East (WLY 19.5 feet of Lot 2 and ELY 12.5 feet of Lot 3, Block 37, Plan 4). We are requesting to rezone this land to Residential Low Density (RLD), as it is currently zoned Industrial Restricted (MR). We are also requesting to subdivide this property, condo bare land, to allow each homeowner to have title on the property. This rezoning and subdivision will be compatible with the nature of the general area being housing. This rezoning and subdivision will not have detrimental or general welfare effects on people living or working in this area nor will it have any negative effects on other properties or potential development in the surrounding area.

Should you have any questions in this regard, please contact me at 204-727-5425 or 204-573-5357 or email [glen.cmha@gmail.com](mailto:glen.cmha@gmail.com).

Sincerely,

A handwritten signature in black ink, appearing to read 'Glen Kruck', written over a horizontal line.

Glen Kruck  
CMHA General Manager

“Remember there is no health without mental health”



TANYA MARSHALL  
MANAGER OF PROPERTY ADMINISTRATION  
DEVELOPMENT SERVICES DIVISION  
638 Princess Avenue, Brandon, MB. R7A 0P3  
Phone: (204) 729-2232 Fax: (204) 725-3235  
Email: [t.marshall@brandon.ca](mailto:t.marshall@brandon.ca)

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April 29, 2015

Canadian Mental Health Association  
23 – 12<sup>th</sup> Street  
Brandon, MB  
R7A 4L6

Attention: Glen Kruck:

Dear Mr. Kruck,

**Re: Letter of Authorization ~ 231 Rosser Avenue East**

I, Tanya Marshall, Manager of Property Administration for the City of Brandon as owner of 231 Rosser Avenue East do hereby authorize the Canadian Mental Health Association to proceed with an application for rezoning and/or subdivision prior to the transfer of the land in accordance with Tender No. #L-34/14 (HDB2014-002a).

Should you have any questions in this regard, please contact me.

Yours truly,

*Tanya Marshall*

Tanya Marshall  
Manager of Property Administration

c.c. Sandy Trudel, Economic Development