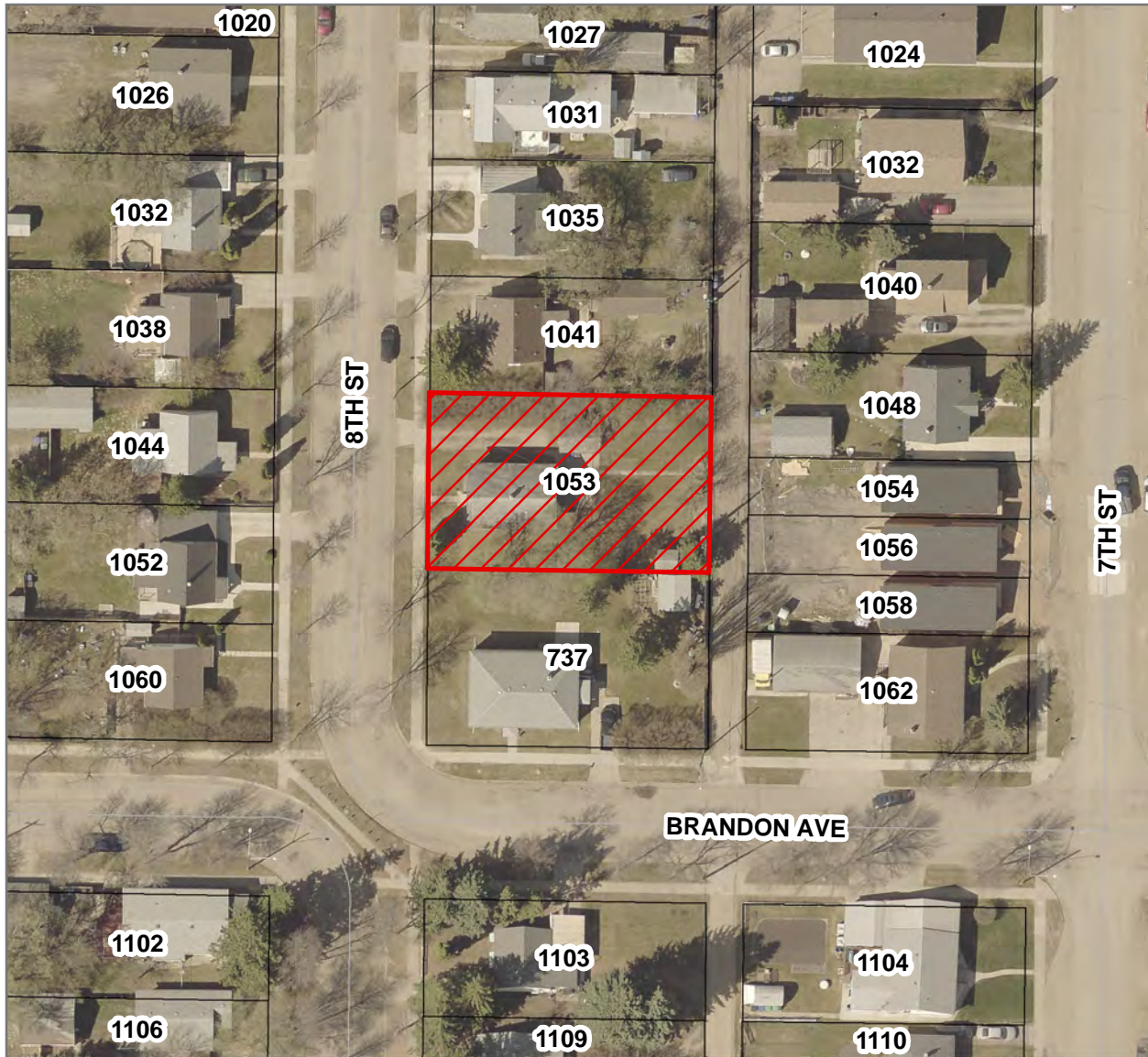
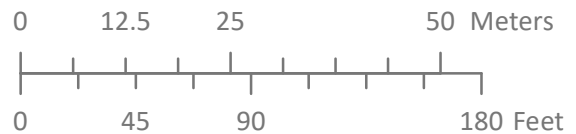


Conditional Use Application



Conditional Use Application C-03-19-B
 1053 - 8th Street
 Lots 35/37, Block 34, Plan 7 BLTO



LEGEND

 Affected Lot

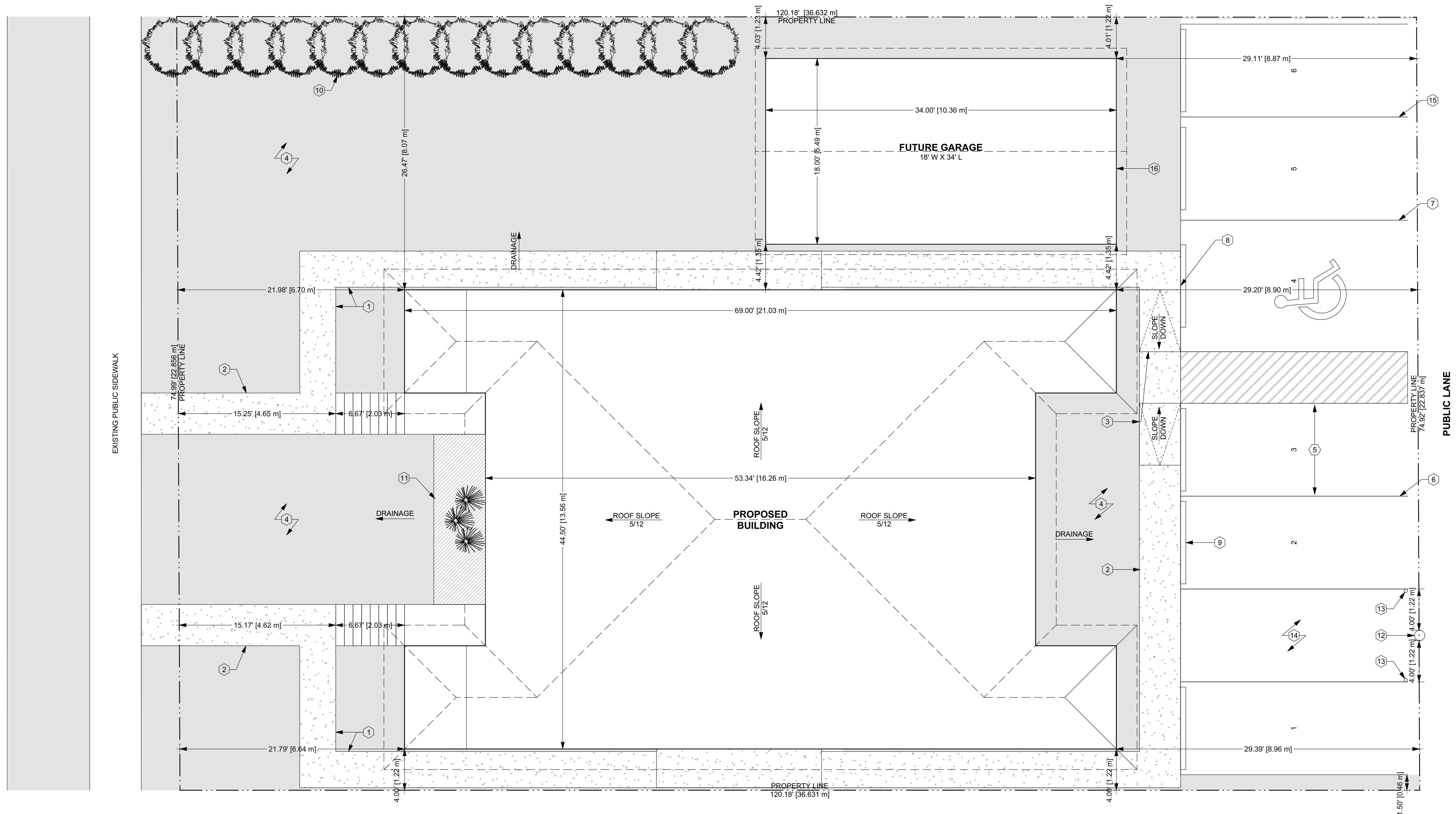
Planning & Buildings
 Department



Map Created: 4/30/2019

Revised:

8TH STREET



1 SITE PLAN
A1.0 SCALE: 3/16" = 1'-0"

BUILDING INFORMATION

CIVIC ADDRESS
1053 8TH STREET
BRANDON, MB

LEGAL ADDRESS
LOT 35/37 BLOCK 34
PLAN 07 BLTO

BUILDING TYPE
RESIDENTIAL
4 PLEX, BI-LEVEL

DETAILS
BUILDING FOOTPRINT _____ 2,447 SQ FT
LOT AREA _____ 9,007 SQ FT
PERCENT LOT AREA ALLOCATED TO BLDG FOOTPRINT _____ 27.17%

GENERAL NOTES

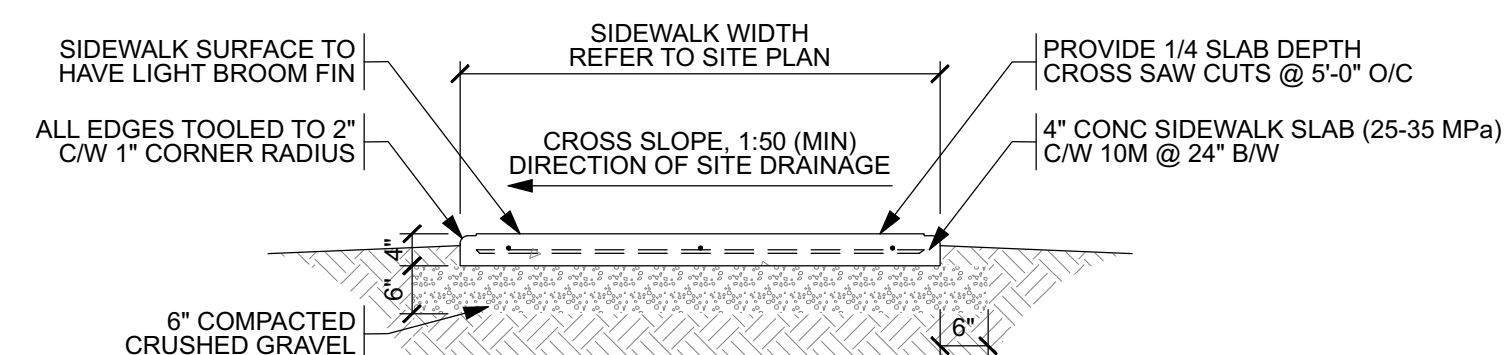
1. ALL WALLS ARE DIMENSIONED TO THE FACE OF THE FRAMING.
2. SITE PLAN TO BE READ IN CONJUNCTION WITH FLOOR PLAN, ELEVATIONS, SECTIONS AND DETAILS.
3. GENERAL CONTRACTOR TO CONFIRM LOCATION OF ALL SITE SERVICES WITH THEIR RESPECTIVE SUPPLIERS PRIOR TO COMMENCEMENT OF WORK. REFER TO MECHANICAL AND ELECTRICAL FOR ANY TIE-INS.

DRAWING NOTES

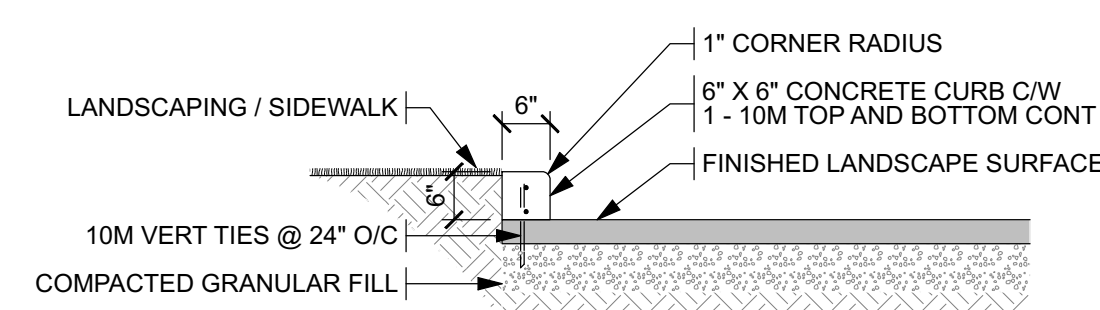
- 1 3'-6" CONCRETE SIDEWALK.
- 2 4'-0" CONCRETE SIDEWALK.
- 3 CONCRETE SIDEWALK RAMP IN BOTH DIRECTIONS TO PROVIDE BARRIER-FREE ACCESS TO SIDEWALK, 1:12 SLOPE (MAX).
- 4 GREEN SPACE.
- 5 COMPACTED GRAVEL PARKING LOT.
- 6 9'-0" W X 22'-0" L [2.743 m X 6.706 m] PARKING STALL, TYPICAL U/I.
- 7 12'-9" W X 22'-0" L [3.886 m X 6.706 m] ACCESSIBLE PARKING STALL, C/W 5'-0" W X 22'-0" L [1.524 m X 6.706 m] PASSENGER LOADING ZONE.
- 8 PROVIDE SIGNAGE DENOTING ACCESSIBLE PARKING STALL.
- 9 CONCRETE CURB, TYPICAL @ EACH PARKING STALL.
- 10 EXISTING HEDGE AND TREES ALONG NORTH PROPERTY LINE TO REMAIN.
- 11 5'-0" W [1.5 m] PLANT BED C/W SHRUBS AND PERENNIALS TO MASK EXPOSED FOUNDATION WHILE ENSURING EGRESS FROM BASEMENT BEDROOM WINDOWS IS UNOBSTRUCTED.
- 12 EXISTING UTILITY POLE TO REMAIN.
- 13 PROVIDE 4" Ø X 4'-0" H BOLLARD TO ENSURE PROPER CLEARANCE PROVIDED FOR UTILITY POLE FROM PARKING AREA. REFER TO BOLLARD CONSTRUCTION DETAIL.
- 14 UTILITY POLE BUFFER ZONE TO BE COMPACTED GRAVEL TO SUIT SURROUNDING PARKING LOT.
- 15 PARKING STALL NO 5 TO BE 10'-0" W X 22'-0" L [3.048 m X 6.706 m] TO ALLOW IT TO BE CONVERTED INTO A DRIVEWAY IN FUTURE FOR ASSOCIATED GARAGE DEVELOPMENT.
- 16 OVERHEAD DOOR OF FUTURE GARAGE TO BE CENTERED ON PARKING STALL NO 5.

EXTERIOR SURFACES LEGEND

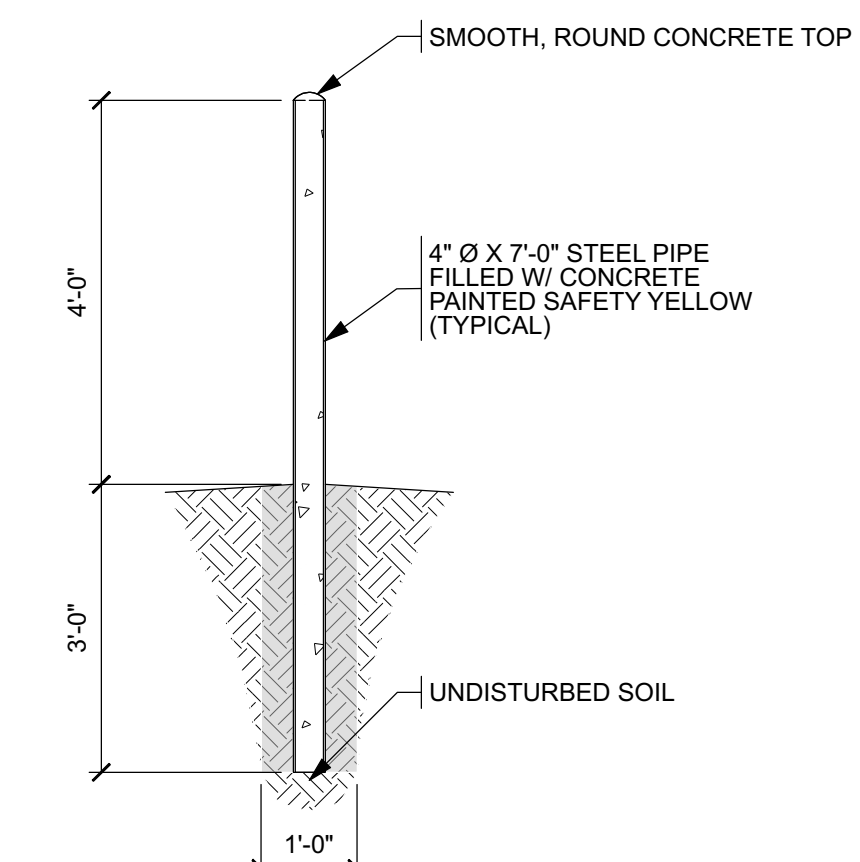
- CONCRETE SIDEWALK
- GRASS / SOD
- LANDSCAPING GROUND COVER
- PEDESTRIAN WALKWAY / ACCESS



2 TYPICAL CONCRETE SIDEWALK
A1.0 SCALE: 1/2" = 1'-0"



3 TYPICAL CONCRETE CURB
A1.0 SCALE: 1/2" = 1'-0"



4 BOLLARD CONSTRUCTION
A1.0 SCALE: NTS

certification by

no rev date

project

BARTLETT 4 PLEX
TRENT BARTLETT
1053 - 8TH STREET | BRANDON, MB

project no date
5/7/2019



KELLER DEVELOPMENTS
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scale drawn by
AS NOTED LK
sheet

A1.0



1 EXTERIOR ELEVATION - WEST
 A2.0 SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION - EAST
 A2.0 SCALE: 1/4" = 1'-0"



3 EXTERIOR ELEVATION - NORTH
 A2.0 SCALE: 1/4" = 1'-0"



4 EXTERIOR ELEVATION - SOUTH
 A2.0 SCALE: 1/4" = 1'-0"

no	rev	date

project
**BARTLETT
 4 PLEX**
TRENT BARTLETT
 1053 - 8TH STREET | BRANDON, MB

project no date
 4/26/2019



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scale drawn by
 AS NOTED LK

sheet
A2.0