

SITE PLAN
1
A1.2
1:150

PAVING TYPES SCHEDULE			
	LIGHT DUTY ASPHALT PAVING 60mm ASPHALTIC CONCRETE 300mm COMPACTED GRANULAR BASE COURSE SUBGRADE AS SPECIFIED		CONCRETE SIDEWALKS 100mm CONCRETE PAVING SUBGRADE AS SPECIFIED
	HEAVY DUTY ASPHALT PAVING 75mm ASPHALTIC CONCRETE 400mm COMPACTED GRANULAR BASE COURSE SUBGRADE AS SPECIFIED		GRASS SODDING REFER TO SPECIFICATIONS SECTION 32 16 00
	CONCRETE APPROACHES 200mm REINFORCED CONCRETE SUBGRADE AS SPECIFIED	GENERAL NOTES REFER TO CITY OF BRANDON STANDARD CONSTRUCTION SPECIFICATIONS FOR COMPOSITION & INSTALLATION OF GRANULAR BASE COURSE MATERIAL, ASPHALTIC CONCRETE PAVING & CONCRETE SIDEWALK PAVING.	

GENERAL NOTES

1. DRAWINGS MUST NOT BE SCALED.
2. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE.
3. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS, AND LEVELS PRIOR TO THE COMMENCEMENT OF THE WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.
4. VARIATIONS AND MODIFICATIONS TO THE WORK SHOWN ON THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.
5. ALL DIMENSIONS ARE TO FACE OF STEEL STUD, FACE OF MASONRY OR FACE OF CONCRETE UNLESS NOTED OTHERWISE.
6. DRAWINGS AND SPECIFICATIONS ARE PROPERTY OF THE ARCHITECT. ANY REPRODUCTIONS OF THE DRAWINGS OR SPECIFICATIONS SHALL BE MADE ONLY AFTER WRITTEN AUTHORIZATION FROM THE ARCHITECT AND SHALL REMAIN PROPERTY OF THE ARCHITECT.
7. ALL INTERIOR PARTITION WALLS ARE TO BE CONSTRUCTED TO THE UNDERSIDE OF HOLLOW CORE FLOOR OR ROOF STRUCTURE ABOVE UNLESS NOTED OTHERWISE.
8. ALL ANGLES SHOWN ARE 45° UNLESS NOTED OTHERWISE.
9. THE GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL SITE SERVICES WITH THEIR RESPECTIVE UTILITY COMPANIES PRIOR TO COMMENCEMENT OF WORK; CO-ORDINATE WITH MECHANICAL AND ELECTRICAL SERVICES FOR TIC-NS.

LEGAL DESCRIPTION

LOTS 5 TO 8 BOTH INCLUSIVE AND LOTS 19 TO 22 BOTH INCLUSIVE, BLOCK 71, PLAN 2, BRANDON LAND TITLES OFFICE (S.S. PLAN NO. 307, SUTO) AND PARCEL A, PLAN NO. 53413.
SITE AREA = 2413 SQ.M. (0.24 HA)
ZONING = HUB TRANSITIONAL (HTR)

SITE RENOVATION NOTES

EXISTING OVERHEAD POWER DISTRIBUTION LINES & POLES TO REMAIN. PROTECT FROM DAMAGE DURING DEMOLITION & CONSTRUCTION, COORDINATE W/ LOCAL UTILITY.
EXISTING UNDERGROUND GAS MAIN BELOW PUBLIC LANE TO REMAIN. PROTECT FROM DAMAGE DURING EXCAVATION & CONSTRUCTION, COORDINATE W/ LOCAL GAS UTILITY.
NEW EMERGENCY GENERATOR C/W CONCRETE HOUSEKEEPING PAD.
CONDENSING UNITS C/W CONCRETE HOUSEKEEPING PADS. COORD W/ MECHANICAL.

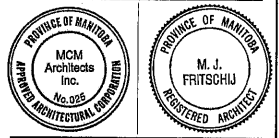
SYMBOL KEY

- OVERHEAD POWER LINE
- OVERHEAD TELEPHONE LINE
- UNDERGROUND GAS SERVICE
- LAND DRAINAGE SEWER
- SANITARY SEWER
- UNDERGROUND WATER SERVICE
- LIGHT STANDARD, EXISTING
- LIGHT STANDARD, REFER TO ELECTRICAL
- POWER POLE, EXISTING
- FIRE HYDRANT, REFER TO CIVIL
- CATCH BASIN, REFER TO CIVIL



3	PRE-TENDER REVIEW	18-04-11	DCL
2	60% RESUBMITTAL	15-11-30	DCL
1	60% REVIEW	15-01-15	JM

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JF (HCD)	RD (HCD)
Project Manager	Project Leader
MCM	MAF
Designed by	Reviewed by
DCL	2016-04-01
Drawn by	Date (yyyy-mm-dd)



Consultants
mcm architects inc.
141 st. anne's road, winnipeg, manitoba R2M 2Z3
158-Bth street, brandon, manitoba R7A 3X1

Project Title
**KIWANIS PLACE
30 THIRD STREET**
BRANDON MANITOBA
Sheet Title
SITE PLAN

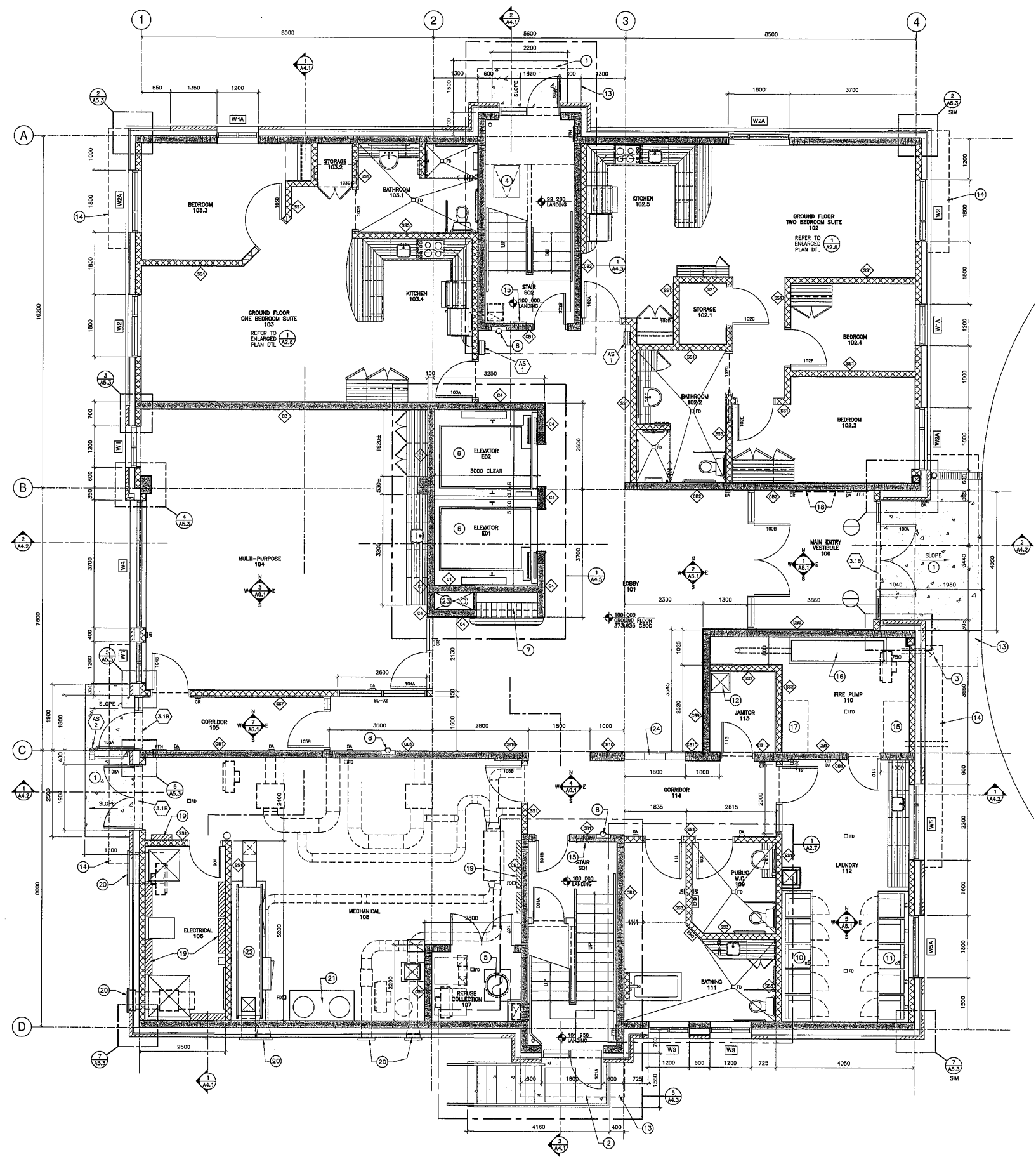
Scale	1:150
HCD Asset Number	Consultant Project Number
	2003
Project Number	Sheet Number
	A1.2

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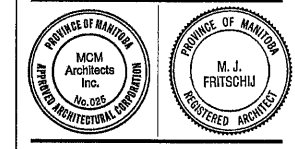
DRAWING NOTES

- CONCRETE ENTRY SLAB, SLOPED FOR DRAINAGE; COORD W/ STRUCTURAL.
- CONCRETE EXIT STAIRS & LANDING C/W STEEL PIPE HAND & GUARDRAILS, SAFETY NOSINGS & DETECTABLE WARNING TILES; REFER TO SPECIFICATIONS, COORD W/ STRUCTURAL.
- FIRE DEPARTMENT & STANDPIPE CONNECTIONS; COORD W/ MECHANICAL.
- 915x760 CRAWLSPACE ACCESS HATCH C/W STEEL ACCESS LADDER; REFER TO SPECIFICATIONS.
- REFUSE CHUTE SYSTEM DISCHARGE INTO GARBAGE BINS SUPPLIED BY OTHERS; REFER TO SPECIFICATIONS, COORD W/ FIRE PROTECTION.
- MACHINE-ROOMLESS PASSENGER ELEVATOR; REFER TO SPECIFICATIONS, COORD W/ STRUCTURAL & ELECTRICAL.
- FORTY (40) TENANT MAILBOXES, 2 UNITS Ø 5 WIDE x 4 HIGH C/W MILLWORK PURSE SHELF & FIRE-RATED SHAFTWALL ENCLOSURE; REFER TO SPECIFICATIONS.
- ABC DRY CHEMICAL FIRE EXTINGUISHER C/W FIRE-RATED, SEMI-RECESSED CABINET; REFER TO SPECIFICATIONS, COORD W/ FIRE PROTECTION.
- CO2 FIRE EXTINGUISHER C/W WALL MOUNT BRACKET; REFER TO SPECIFICATIONS, COORD W/ FIRE PROTECTION.
- FIVE (5) FRONT LOADING COIN-OPERATED CLOTHES WASHERS ON 900x3800x200 HIGH ELEVATED BASE; REFER TO SPECIFICATIONS, COORD W/ MECHANICAL & ELECTRICAL.
- FIVE (5) FRONT LOADING COIN-OPERATED CLOTHES DRYERS ON 900x3800x200 HIGH ELEVATED BASE; REFER TO SPECIFICATIONS, COORD W/ MECHANICAL & ELECTRICAL.
- JANITOR MOP SINK C/W STAINLESS STEEL BACKSPASH; REFER TO MECHANICAL.
- LINE OF CANOPY ABOVE; COORD W/ STRUCTURAL.
- LINE OF PROJECTING FLOOR LEVEL ABOVE; COORD W/ STRUCTURAL.
- DOMESTIC WATER SERVICE ENTRY INTO BUILDING & WATER METER; COORD W/ MECHANICAL & CIVIL.
- FIRE PUMP ASSEMBLY, PROVIDE HOUSEKEEPING PAD AS REQUIRED; COORD W/ MECHANICAL & STRUCTURAL.
- FIRE PROTECTION SPRINKLER TREE; COORD W/ MECHANICAL.
- MAIN FIRE ALARM ANNUNCIATOR PANEL & BUILDING SECURITY ENTRY PANEL; REFER TO ELECTRICAL.
- ELECTRICAL TRANSFORMERS & DISTRIBUTION PANELS, PROVIDE HOUSEKEEPING PADS AS REQUIRED; COORD W/ MECHANICAL & STRUCTURAL.
- MECHANICAL INTAKE/EXHAUST LOUVERES, PAINT OUT TO MATCH STONE MASONRY WALL FINISH; COORD W/ MECHANICAL & STRUCTURAL.
- DOMESTIC HOT WATER TANKS, PROVIDE HOUSEKEEPING PAD AS REQUIRED; COORD W/ MECHANICAL & STRUCTURAL.
- CRAWLSPACE VENTILATION UNIT, PROVIDE HOUSEKEEPING PAD AS REQUIRED; COORD W/ MECHANICAL & STRUCTURAL.
- FIRE-RATED DUCT SHAFT FROM TOP FLOOR DOWN INTO CRAWLSPACE, COORD W/ MECHANICAL PIPING & SUPPLY AIR DUCTWORK FROM ROOFTOP UNIT ABOVE.
- SCULPTURAL SCREEN WALL; REFER TO SPECIFICATIONS, COORD W/ STRUCTURAL.



No.	Revision	Date	By
3	PRE-TENDER REVIEW	16-04-11	DCL
2	60% RESUBMITAL	15-11-30	DCL
1	60% REVIEW	15-01-15	JM

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JF (HCD)	RD (HCD)
Project Manager	Project Leader
Designed by	Reviewed by
DCL	2016-03-24
Drawn by	Date (yyy-mm-dd)



Consultants
mcm architects inc.
141 st. anne's road, winnipeg, manitoba R2M 2Z3
158-Bth street, brandon, manitoba R7A 3X1

Project Title
**KIWANIS PLACE
30 THIRD STREET**

BRANDON MANITOBA

Sheet Title
GROUND FLOOR PLAN

Scale	1:50
HCD Asset Number	Consultant Project Number
	2003
Project Number	Sheet Number
	A2.1

3	PRE-TENDER REVIEW	16-04-11	DCL
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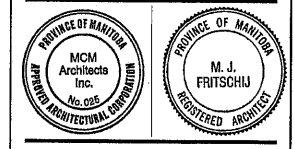
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Project Manager	Project Leader
MCM	MJF
Designed by	Reviewed by
DCL	2018-03-24
Drawn by	Date (yyy-mm-dd)

North

Consultants

mcm
architects inc.

141 st. anne's road, winnipeg, manitoba R2M 2Z3
159-8th street, brandon, manitoba R7A 5X1

Project Title
**KIWANIS PLACE
30 THIRD STREET**

BRANDON MANITOBA

Sheet Title
**TYPICAL FLOOR PLAN -
SECOND THRU SEVENTH FLOORS**

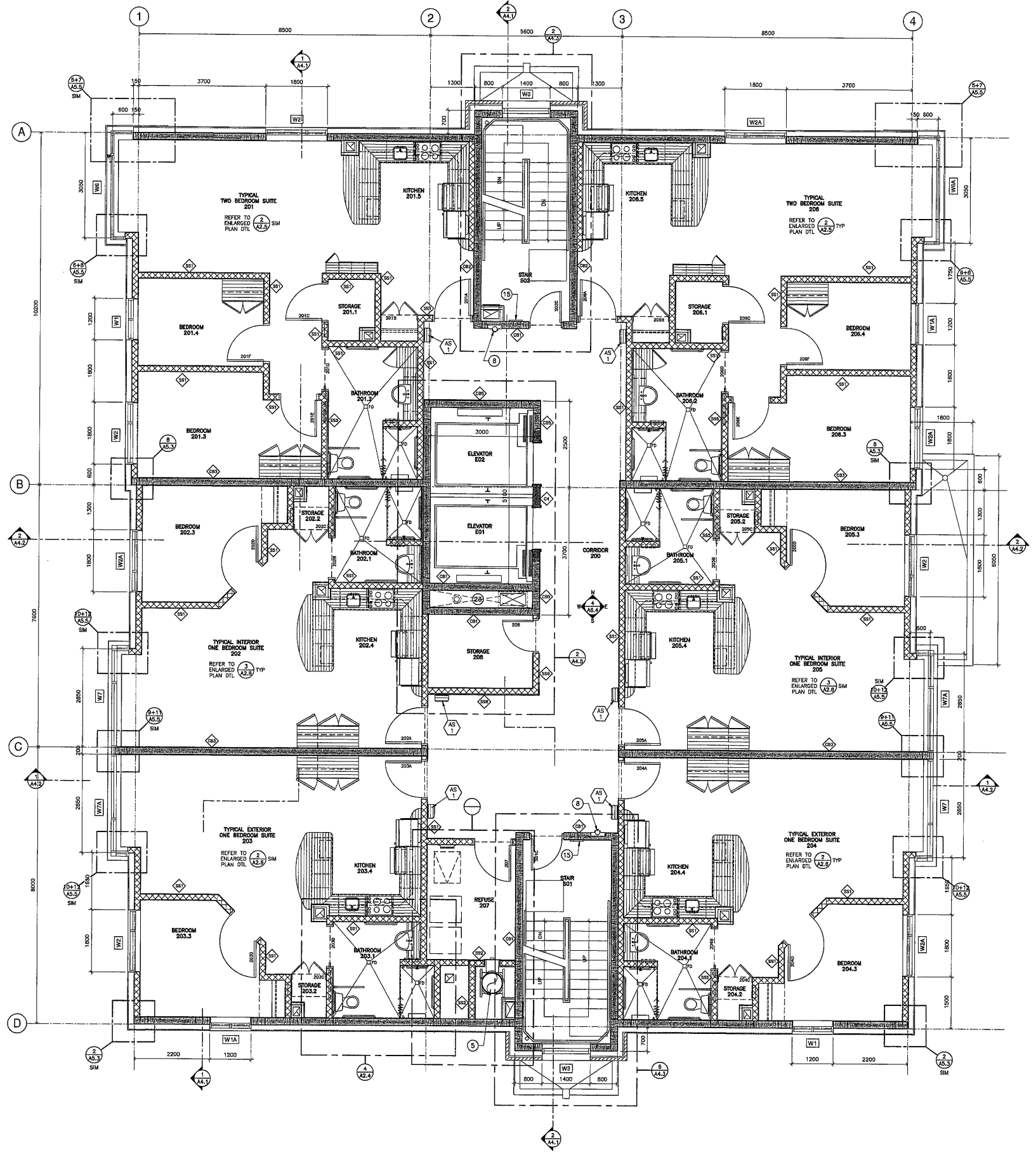
Scale	1:50
HCD Asset Number	Consultant Project Number
	2003
Project Number	Sheet Number
	A2.2
	Revision

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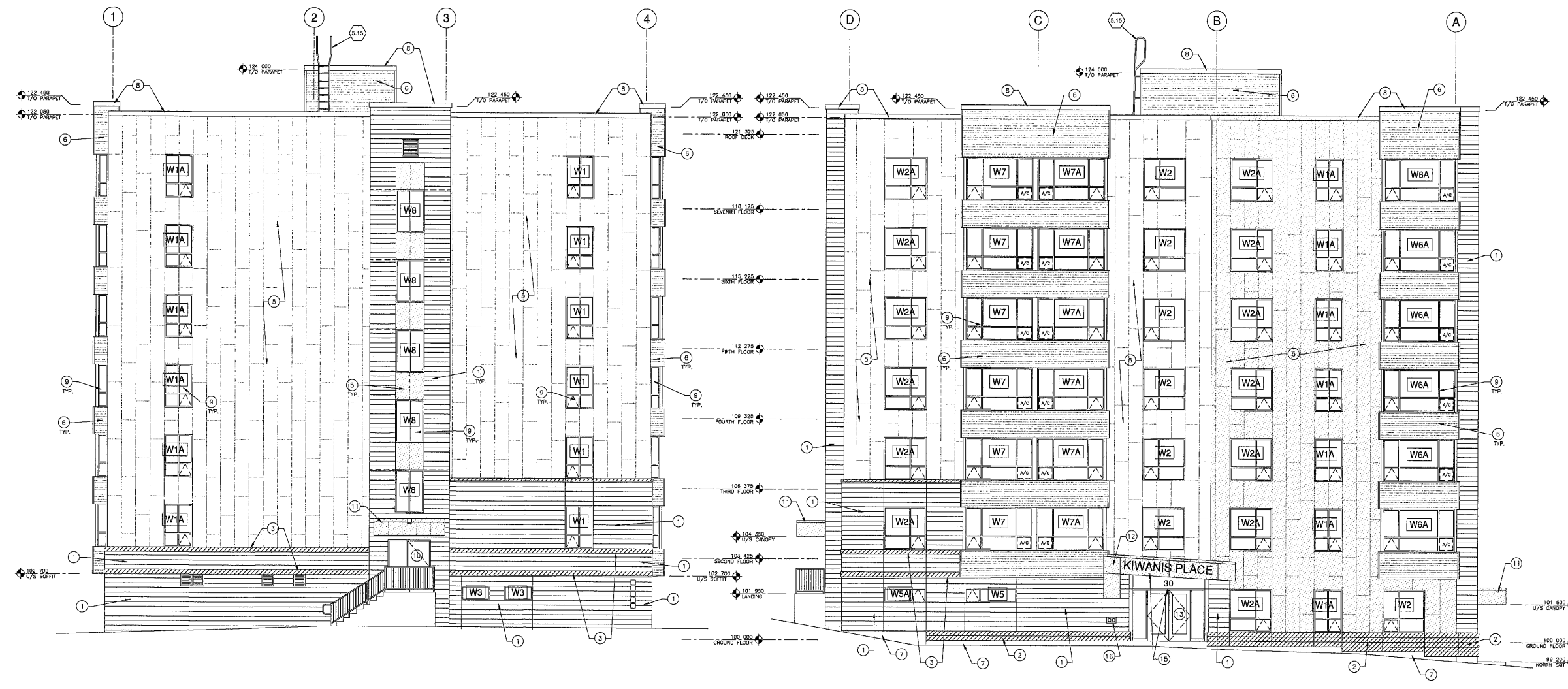
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- SCULPTURAL SCREEN WALL; REFER TO SPECIFICATIONS, COORD W/ STRUCTURAL.



No	Revision	Date	By
3	PRE-TENDER REVIEW	16-04-11	
2	60% RESUBMITTAL	15-11-30	DCL
1	60% REVIEW	15-01-15	JM

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1 SOUTH ELEVATION
A3.1 1:75

2 EAST ELEVATION
A3.1 1:75

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ELEVATION NOTES

- SAWN-FACE LIMESTONE VENEER, 190 x 90 x RANDOM LENGTHS C/W CONTROL JOINTS AS NOTED; REFER TO SPECIFICATIONS.
- SPLIT-FACE LIMESTONE BASE VENEER, 190 x 115 x RANDOM LENGTHS C/W CHAMFERED EDGE & CONTROL JOINTS AS NOTED; REFER TO SPECIFICATIONS.
- SPLIT-FACE LIMESTONE ACCENT BAND, 190 x 90 x RANDOM LENGTHS C/W CONTROL JOINTS AS NOTED; REFER TO SPECIFICATIONS.
- CONTINUOUS GUT LIMESTONE SILL C/W CHAMFER & DRIP EDGE, 90 x 90 x LENGTH AS REQ'D; REFER TO SPECIFICATIONS.
- PRE-FINISHED ALUMINUM COMPOSITE METAL PANELS C/W SUB-GIRT ASSEMBLY, MATCHING TRIM & REVEALS, FIELD & ACCENT COLOURS TO BE SELECTED BY ARCHITECT; REFER TO SPECIFICATIONS.
- PRE-FINISHED HORIZONTAL CORRUGATED METAL PANELS C/W MATCHING TRIM & REVEALS AS NOTED, COLOUR TO BE SELECTED BY ARCHITECT; REFER TO SPECIFICATIONS.
- CONCRETE-FACED GRADE BEAM INSULATION TO MIN 300 BELOW FINISH GRADE C/W RABBIT-CUT & LAPPED EXTERIOR CORNERS; REFER TO SPECIFICATIONS.
- PRE-FINISHED METAL PARAPET CAP FLASHING C/W CONCEALED GIRT FASTENERS, COLOUR TO BE SELECTED BY ARCHITECT.
- TRIPLE-GLAZED FIBERGLASS WINDOWS C/W AIR CONDITIONER SHELFS/PANELS & AWNING OPERATORS, COLOUR TO BE SELECTED BY ARCHITECT; REFER TO WINDOW TYPES SCHEDULE, DRAWING A3.2.
- HOLLOW METAL DOOR & FRAME C/W DOUBLE-GLAZED GLASS VISION PANELS & SIDELIGHTS; REFER TO DOOR & FRAME SCHEDULE IN SPECIFICATIONS.
- CANDY W/ PRE-FINISHED ALUMINUM COMPOSITE PANEL FASCIA, MATCHING CAP FLASHING & PERFORATED METAL SOFFITS, COLOUR TO BE SELECTED BY ARCHITECT.
- MAIN ENTRY CANOPY W/ PRE-FINISHED ALUMINUM COMPOSITE PANEL FASCIA, MATCHING CAP FLASHING & PERFORATED METAL SOFFITS, COLOUR TO BE SELECTED BY ARCHITECT.
- ALUMINUM ENTRY DOORS & FRAME C/W DOUBLE-GLAZED VISION PANELS & SIDELIGHTS; REFER TO DOOR & FRAME SCHEDULE IN SPECIFICATIONS.
- EXTERIOR LOUVRED GRILLE, COLOUR TO BE SELECTED BY ARCHITECT; REFER TO MECHANICAL SPECIFICATIONS.
- FLAT-CUT ALUMINUM BUILDING NAME & STREET NUMBER SIGNAGE, COLOUR TO BE SELECTED BY ARCHITECT; REFER TO SPECIFICATIONS.
- FIRE DEPARTMENT CONNECTION, COORD. W/ MECHANICAL.

KEY

- SAWN-FACE LIMESTONE MASONRY VENEER, 190 x 90 x RANDOM LENGTHS
- SPLIT-FACE LIMESTONE BASE VENEER, 190 x 115 x RANDOM LENGTHS
- PRE-FINISHED ALUMINUM COMPOSITE METAL PANELS, 2400 x 600 WIDE MODULES, 2-COLOUR FIELD
- PRE-FINISHED ALUMINUM COMPOSITE METAL PANELS, 2400 x 600 WIDE MODULES, 2-COLOUR ACCENT
- PRE-FINISHED HORIZONTAL CORRUGATED METAL PANELS C/W MATCHING TRIM
- WINDOW TYPE TAG, REFER TO SCHEDULE ON DRAWING A3.2

JF (MCD)	RD (MCD)
Project Manager	Project Leader
MCM	MJF
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	DCL
Drawn by	Date (yyyymm-dd)
	2016-03-15

Consultants
mcm architects inc.
141 St. Anne's Road, Winnipeg, Manitoba R2M 2Z3
158-Bth Street, Brandon, Manitoba R7A 5K1

Project Title
KIWANIS PLACE
30 THIRD STREET
BRANDON MANITOBA
Sheet Title
EXTERIOR ELEVATIONS - SOUTH & EAST ELEVATIONS

Scale 1:75

HCD Asset Number	Consultant Project Number
	2003
Project Number	Sheet Number
	A3.1

3	PRE-TENDER REVIEW	16-04-11	DCL
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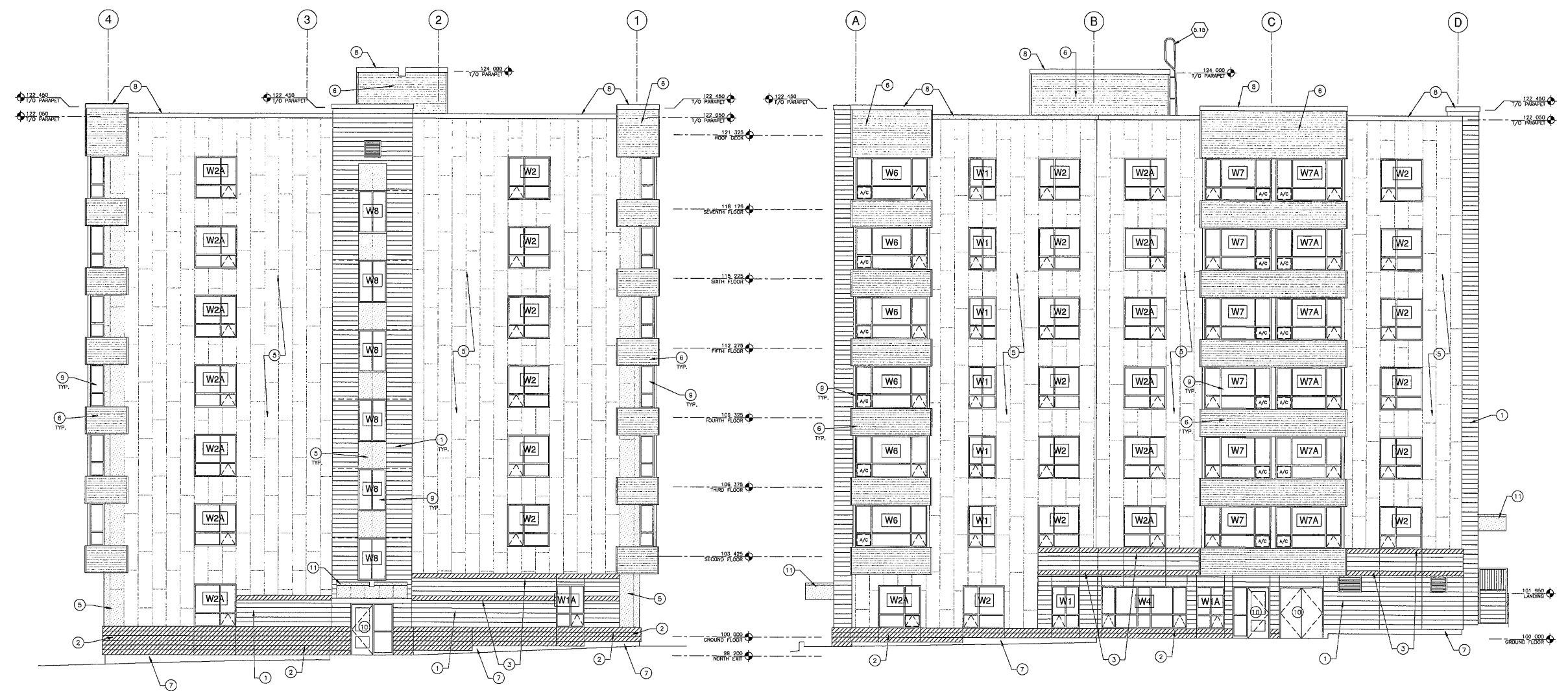
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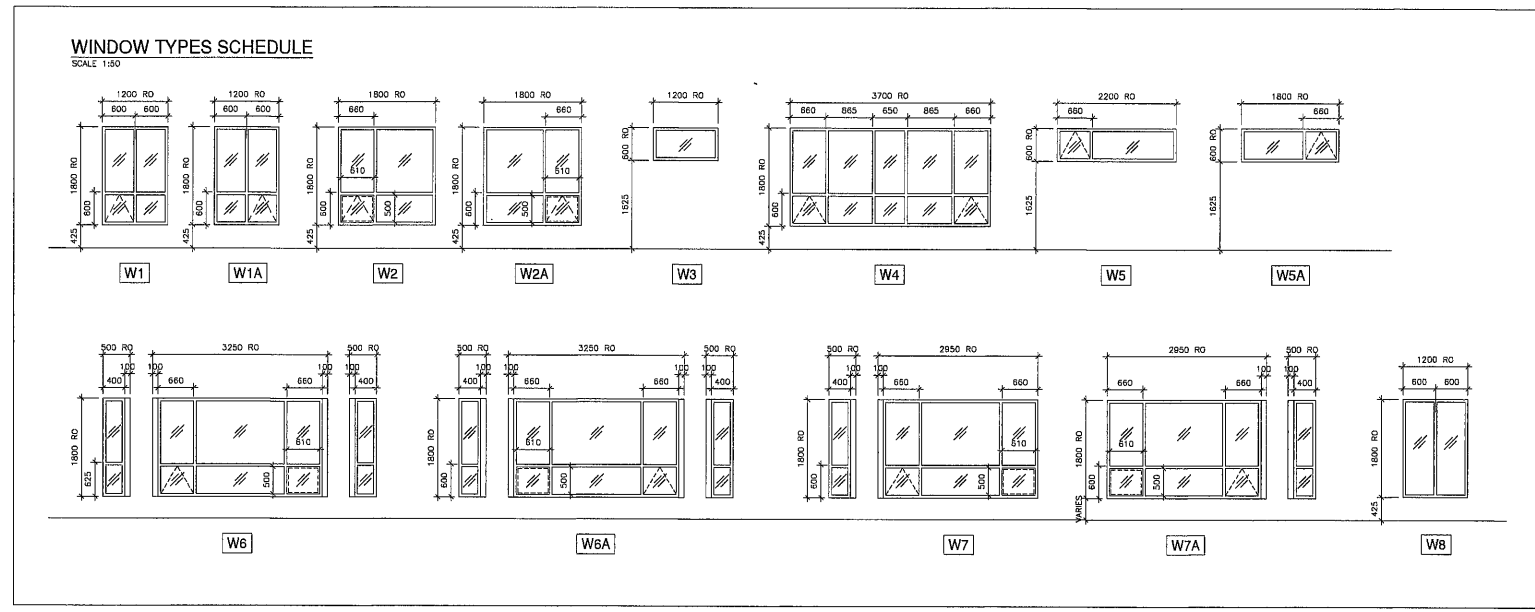
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1 NORTH ELEVATION
A3.2 1/75

2 WEST ELEVATION
A3.2 1/75



JF (H2D)	RD (H2D)
Project Manager	Project Leader
MCM	MJF
Designed by	Reviewed by
DCL	2016-03-15
Drawn by	Date (yyyymmdd)

Consultants

mcm architects inc.
141 st. anne's road, winnipeg, manitoba R2M 2Z3
159-8th street, brandon, manitoba R7A 5X1

Project Title
**KIWANIS PLACE
30 THIRD STREET**

BRANDON MANITOBA

Sheet Title
**EXTERIOR ELEVATIONS -
NORTH & WEST ELEVATIONS
WINDOW TYPES SCHEDULE**

Scale 1/75

HCD Asset Number	Consultant Project Number
	2003
Project Number	Sheet Number
	A3.2



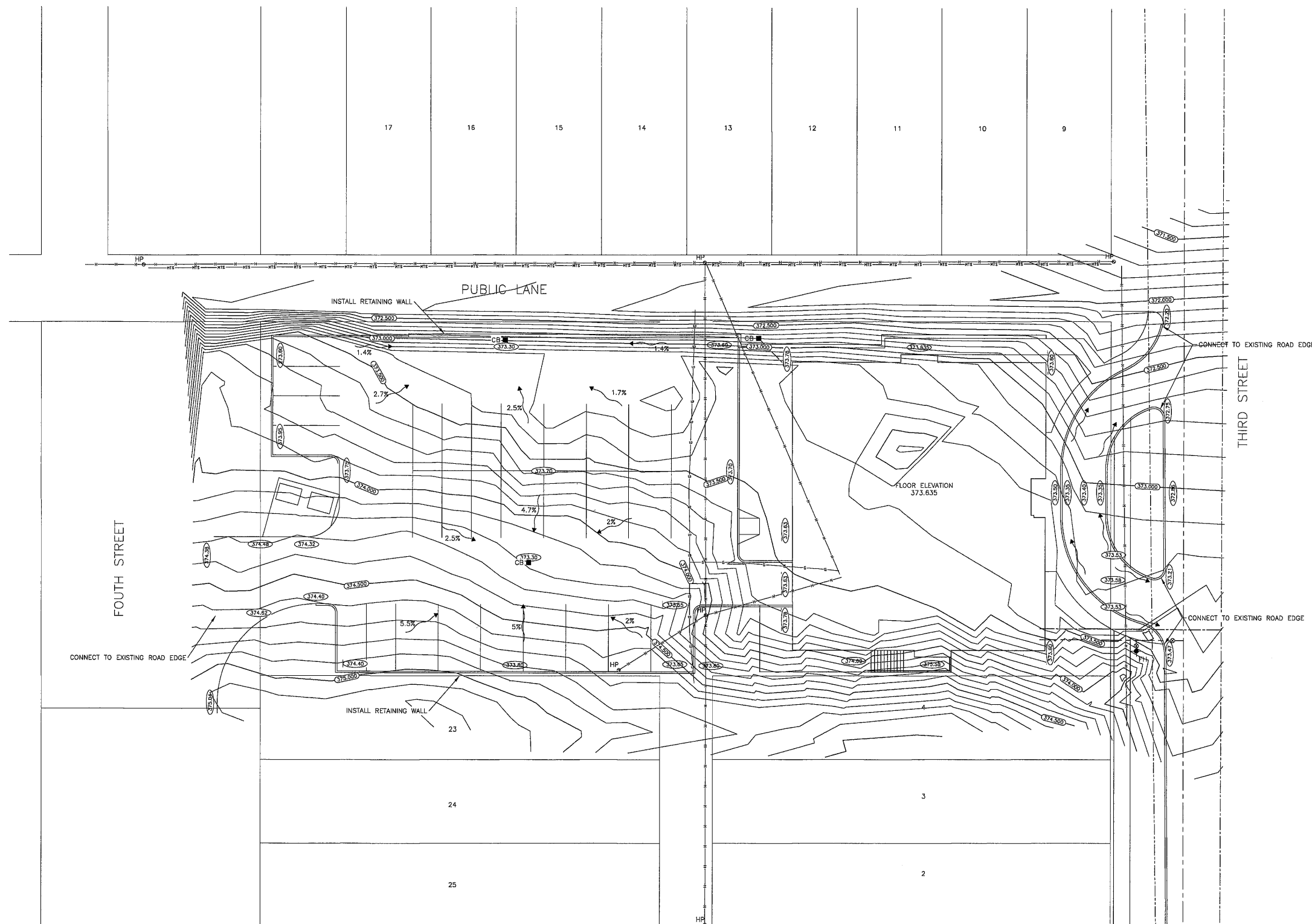
1	88% CONSTRUCTION DOCUMENTS, RESUBMITTAL	15/10/28	MF
No	Revision	Date	By

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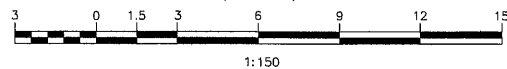
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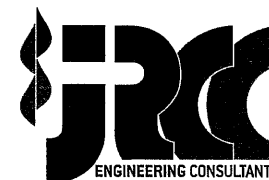


SCALE BAR
(IN METRES)



NOTE:

UNDERGROUND AND SURFACE WORKS TO BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISION OF THE CITY OF BRANDON CONSTRUCTION SPECIFICATION.



JR Cousin Consultants Ltd.

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www.jrcc.ca

ENGINEERING EXCELLENCE SINCE 1981

B.M. E.L.

LOCATIONS OF UNDERGROUND STRUCTURES/UTILITIES AS SHOWN ARE BASED ON AVAILABLE INFORMATION BUT NO GUARANTEE IS GIVEN OR IMPLIED THAT ALL EXISTING UNDERGROUND STRUCTURES/UTILITIES ARE SHOWN OR THAT THE GIVEN LOCATIONS ARE EXACT. CONFIRMATION OF EXISTENCE AND EXACT LOCATION OF ALL UNDERGROUND STRUCTURES/UTILITIES MUST BE OBTAINED FROM THE APPROPRIATE AUTHORITY/OWNER, BY THE CONTRACTOR, BEFORE PROCEEDING WITH CONSTRUCTION.

Project Manager	Project Leader
Designed by	Reviewed by
DCL	2015-10-22
Drawn by	Date (yyyymm-dd)
North	

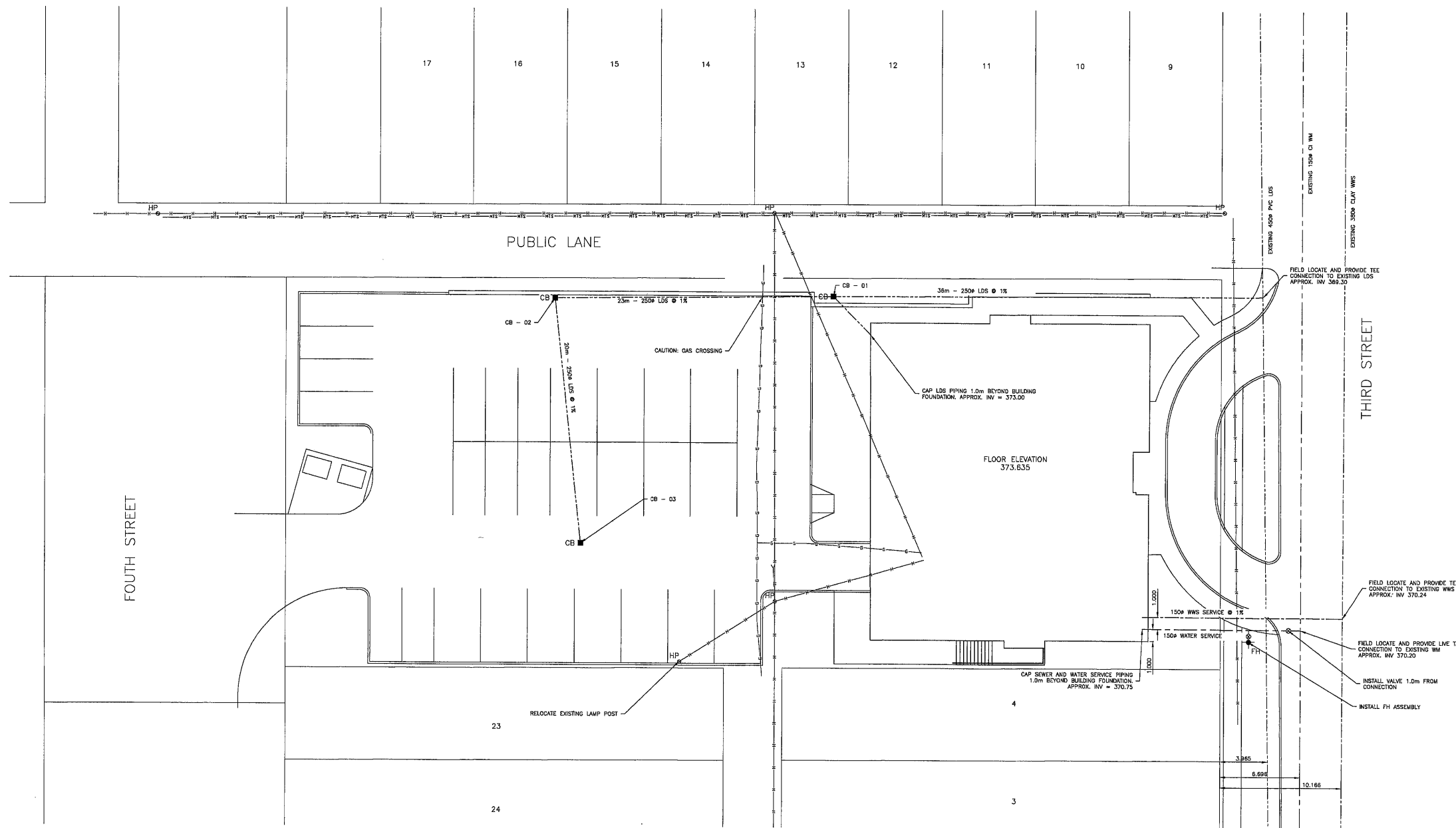
Consultants
mcm
architects
141 st. anne's road, winnipeg, manitoba R2M 2Z3
158-8th street, brandon, manitoba R7A 3X1

Project Title
WESTMAN KIWANIS COURT
PHASE 2

BRANDON MANITOBA

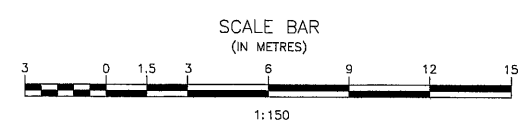
Sheet Title
SITE GRADING PLAN

Scale	1:50
HCD Asset Number	Consultant Project Number
	2003
Project Number	Sheet Number
	C1.1
	Revision



CATCH BASIN INVERT INFORMATION

ITEM	RM	SUMP	NORTH	EAST	SOUTH	WEST	SIZE (mm)
CB 1	7774	369.85	-	370.45	370.50	370.50	1200P
CB 2	373.30	370.15	-	370.75	370.80	-	600P
CB 3	373.30	370.40	371.00	-	-	-	600P



NOTE:
 UNDERGROUND AND SURFACE WORKS TO BE INSTALLED IN ACCORDANCE WITH THE LATEST REVISION OF THE CITY OF BRANDON CONSTRUCTION SPECIFICATION.

JRCC
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No. Revision Date By

This drawing shall not be scaled. Follow given dimensions only. The contractor shall satisfy himself that all dimensions and information shown are correct.

Prior to commencement of work report any discrepancies to the consultant.

Variances and modifications to work will not be allowed without written permission HCD.

This drawing shall not be used for construction purposes until approved by an authorized officer of HCD.

Project Manager: Project Leader

Designed by: MAF

Reviewed by: 2015-10-22

Drawn by: Date (yyyy-mm-dd)

Consultants

mcm architects

141 st. anne's road, winnipeg, manitoba R2M 2Z3
 158-8th street, brandon, manitoba R7A 3X1

Project Title

**WESTMAN KIWANIS COURT
 PHASE 2**

BRANDON MANITOBA

Sheet Title

SITE SERVICING PLAN

Scale 1:50

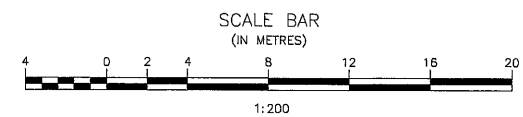
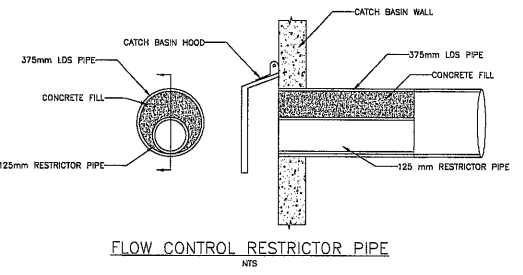
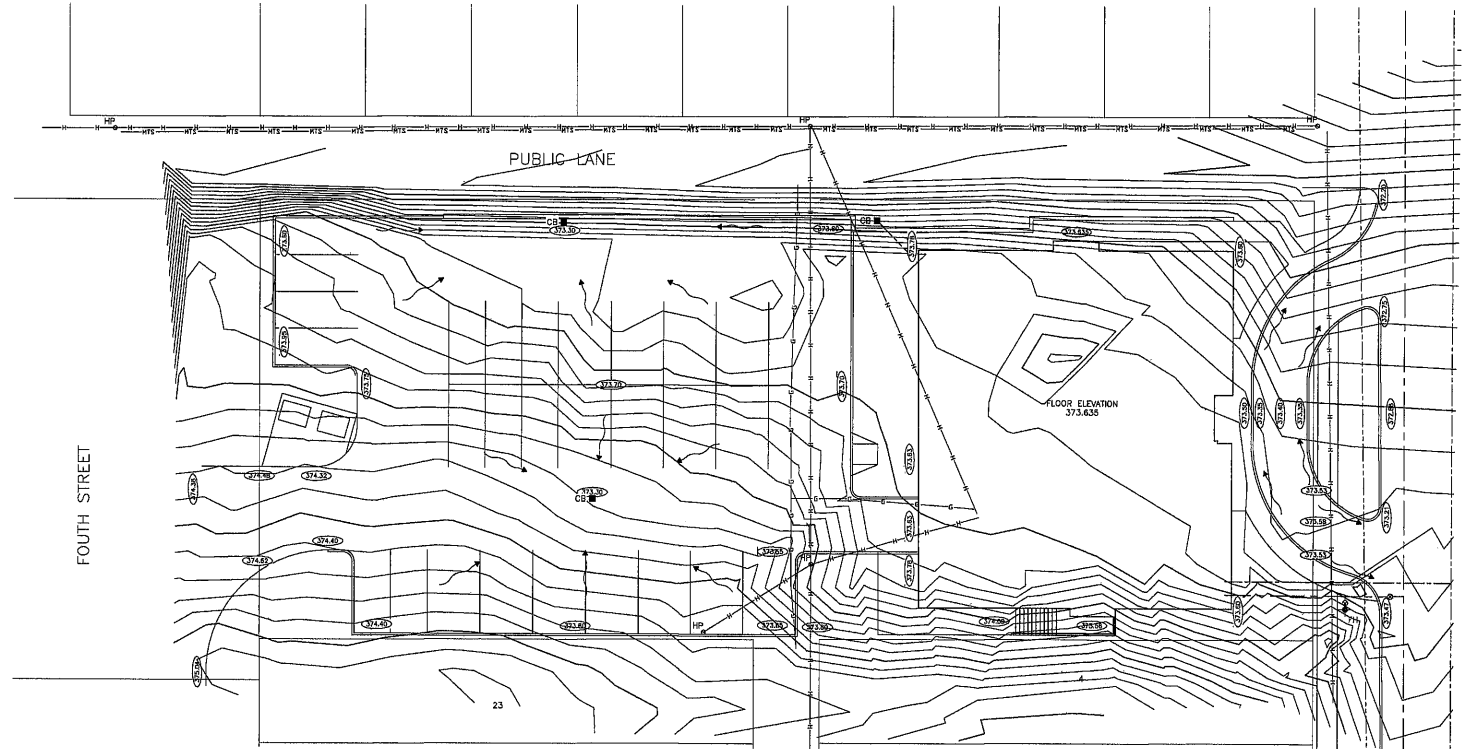
HCD Asset Number	Consultant Project Number
	2003
Project Number	Sheet Number
	C1.2
	Revision



POST-DEVELOPMENT RUN OFF AND STORAGE CALCULATIONS - KIWANIS COURT

IMPERVIOUS AREA - SURFACE STORAGE CAPACITY = 0.10			ALLOWABLE RUNOFF RATE		
Metric Equations			Q = CIA = 0.94 CFS		
Imperial	metric		Q = CIA = 26.66 LPS		
R ₁ (in/hr)	3.000 (in/hr)	76.200	WHERE C = 0.35		
R ₂ (in/hr)	0.118 (in/hr)	2.997	I = 4.31 INCHES/HOUR		
L (in/hr)	-0.069 (in/hr)	-1.90112	A = 0.62 ACRES		
TOTAL IMPERVIOUS AREA 0.62 ACRES			DESIGN RUNOFF RATE 0.94 CFS		
TOTAL PERVIOUS AREA 0.00 ACRES			REQUIRED SITE STORAGE 2.097 FT ³		
TOTAL AREA 0.62 ACRES			REQUIRED SITE STORAGE 59 M ³		
ALLOWABLE RUNOFF RATE 0.94 CFS			AVAILABLE SITE STORAGE 59 M ³		
			TC = 10 MINUTES		

CITY OF BRANDON 25 YEAR STORM PARAMETERS				PERVIOUS FLOW CALCULATION				TOTAL	ALLOWABLE	RUNOFF	ONSITE
TIME	INTENSITY	RAIN DEPTH	SUM	IMPERVIOUS RUNOFF	INFILTRATION (PORTON EQU)	NET INTENSITY	PERVIOUS RUNOFF	RUNOFF (PERVIOUS + IMPERVIOUS)	OFF SITE DISCHARGE RATE	REQUIRING STORAGE	STORAGE REQUIRED
MINUTES	INCHES/HOUR	INCHES	INCHES	CFS	INCHES/HOUR	INCHES/HOUR	CFS	CFS	CFS	CFS	CF
0	0.00	0.00	0.00	0.00	3.00	0.00	0.00	0.00	0.94	0.00	0
5	0.12	0.01	0.01	0.30	2.16	0.00	0.00	0.00	0.94	0.00	0
10	0.13	0.01	0.02	0.30	1.56	0.00	0.00	0.00	0.94	0.00	0
15	0.15	0.01	0.03	0.00	1.14	0.00	0.00	0.00	0.94	0.00	0
20	0.17	0.01	0.05	0.00	0.84	0.00	0.00	0.00	0.94	0.00	0
25	0.19	0.02	0.06	0.00	0.63	0.00	0.00	0.00	0.94	0.00	0
30	0.21	0.02	0.08	0.00	0.48	0.00	0.00	0.00	0.94	0.00	0
35	0.23	0.02	0.10	0.14	0.38	0.00	0.00	0.14	0.94	0.00	0
40	0.25	0.02	0.12	0.16	0.30	0.00	0.00	0.16	0.94	0.00	0
45	0.29	0.03	0.15	0.18	0.25	0.04	0.00	0.18	0.94	0.00	0
50	0.33	0.03	0.17	0.21	0.21	0.12	0.00	0.21	0.94	0.00	0
55	0.42	0.04	0.21	0.26	0.18	0.24	0.00	0.26	0.94	0.00	0
60	0.53	0.04	0.25	0.33	0.16	0.37	0.00	0.33	0.94	0.00	0
65	0.76	0.06	0.32	0.48	0.15	0.61	0.00	0.48	0.94	0.00	0
70	1.24	0.10	0.42	0.78	0.14	1.10	0.00	0.78	0.94	0.00	0
75	2.36	0.25	0.67	1.86	0.13	2.83	0.00	1.86	0.94	0.92	277
80	7.86	0.66	1.32	4.95	0.13	7.73	0.00	4.95	0.94	4.01	1,202
85	3.93	0.33	1.65	2.47	0.13	3.80	0.00	2.47	0.94	1.53	469
90	2.29	0.19	1.84	1.44	0.12	2.17	0.00	1.44	0.94	0.50	150
95	1.34	0.13	1.97	0.97	0.12	1.42	0.00	0.97	0.94	0.03	9
100	1.17	0.10	2.07	0.74	0.12	1.25	0.00	0.74	0.94	0.00	0
105	0.92	0.08	2.14	0.58	0.12	0.80	0.00	0.58	0.94	0.00	0
110	0.75	0.06	2.20	0.47	0.12	0.63	0.00	0.47	0.94	0.00	0
115	0.65	0.05	2.26	0.41	0.12	0.53	0.00	0.41	0.94	0.00	0
120	0.58	0.04	2.31	0.36	0.12	0.46	0.00	0.36	0.94	0.00	0
125	0.51	0.04	2.35	0.32	0.12	0.39	0.00	0.32	0.94	0.00	0
130	0.45	0.04	2.39	0.28	0.12	0.33	0.00	0.28	0.94	0.00	0
135	0.40	0.03	2.42	0.25	0.12	0.28	0.00	0.25	0.94	0.00	0
140	0.35	0.03	2.45	0.22	0.12	0.23	0.00	0.22	0.94	0.00	0
145	0.30	0.03	2.47	0.19	0.12	0.18	0.00	0.19	0.94	0.00	0
150	0.26	0.02	2.50	0.16	0.12	0.14	0.00	0.16	0.94	0.00	0
155	0.23	0.02	2.51	0.14	0.12	0.10	0.00	0.14	0.94	0.00	0
160	0.19	0.02	2.53	0.12	0.12	0.07	0.00	0.12	0.94	0.00	0
165	0.17	0.01	2.54	0.11	0.12	0.05	0.00	0.11	0.94	0.00	0
170	0.16	0.01	2.56	0.10	0.12	0.04	0.00	0.10	0.94	0.00	0
175	0.15	0.01	2.57	0.09	0.12	0.03	0.00	0.09	0.94	0.00	0
180	0.14	0.01	2.58	0.09	0.12	0.02	0.00	0.09	0.94	0.00	0
185	0.13	0.01	2.59	0.08	0.12	0.01	0.00	0.08	0.94	0.00	0
190	0.12	0.01	2.60	0.08	0.12	0.00	0.00	0.08	0.94	0.00	0
195	0.12	0.01	2.61	0.08	0.12	0.00	0.00	0.08	0.94	0.00	0
200	0.00	0.00	2.61	0.00	0.12	0.00	0.00	0.00	0.94	0.00	0



NOTE:
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JRC ENGINEERING CONSULTANTS ENGINEERING EXCELLENCE SINCE 1981

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No. Revision Date By

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Project Manager: M.F.
Project Leader: M.F.
Designed by: DCL
Reviewed by: DCL
Date: 2015-10-22
Drawn by: (yyy-mm-dd)

Consultants:
mcm architects
141 st. anne's road, winnipeg, manitoba R2M 2Z3
158-8th street, brandon, manitoba R7A 3X1

Project Title:
WESTMAN KIWANIS COURT PHASE 2

BRANDON MANITOBA

Sheet Title:
SITE GRADING PLAN WITH PONDING

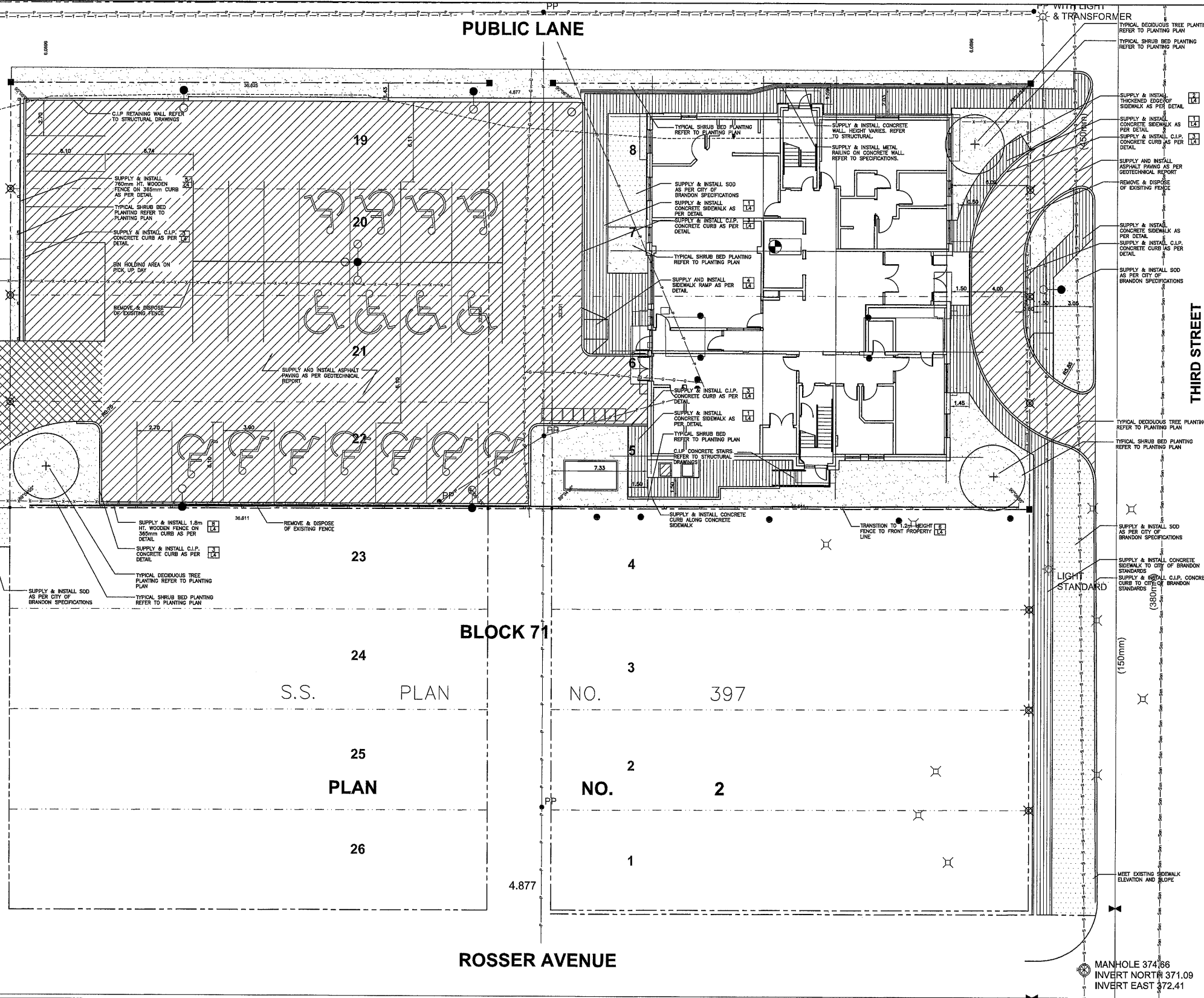
Scale: 1:50

HCD Asset Number	Consultant Project Number
	2003
Project Number	Sheet Number
	C1.3

CLOSED BY INSTR. NO. D2826
FOURTH STREET

(20.117m WIDE)

FILE: S:\14-038 2826 Court, Brandon, MB\2015-10-28.dwg



PUBLIC LANE

BLOCK 71

ROSSER AVENUE

THIRD STREET

GENERAL LEGEND

- HEAVY DUTY ASPHALT
- ASPHALT
- CONCRETE SIDEWALK
- REINFORCED STRUCTURAL SLAB
- 900mm PLANTING BED
- SOD
- SHRUB PLANTING BED EDGE
- PROPERTY LINE
- PROPOSED C.I.P. CURB
- DETAIL KEY
- DETAIL NUMBER
- SHEET NUMBER

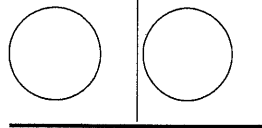
GENERAL NOTES

1. CONTRACTOR TO CONFIRM ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO CONTRACT ADMINISTRATOR PRIOR TO CONSTRUCTION. SITE SURVEY IS AVAILABLE ON REQUEST.
2. LAYOUT TO BE APPROVED BY CONTRACT ADMINISTRATOR PRIOR TO ANY CONSTRUCTION OR REMOVALS.
3. ALL DIMENSIONS ARE IN METRIC UNLESS OTHERWISE NOTED.
4. REFER ALSO TO WRITTEN SPECIFICATIONS.
5. USE SPECIFIED BACKFILL IN ALL TRENCHES RUNNING BELOW ALL STRUCTURES, PAVING, WALKWAYS, ETC.
6. REFER TO GRADING PLAN L2 FOR LOCATION OF ALL CURB CUTS, CATCH BASINS, ETC.
7. ALL PAINTED PAVEMENT MARKING AND SIGNS SHOWN, WITHIN LIMIT OF WORK AS NOTED ON PLANS, TO BE INCLUDED IN WORK UNDER THIS CONTRACT.
8. LOCATION OF ALL UTILITIES SHOWN FOR ILLUSTRATION ONLY. CONTRACTOR MUST CONTACT ALL UTILITIES REGARDING RULES FOR WORKING IN THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
9. ALL EXISTING ROADS, SIDEWALKS, CURBS, FENCING, PAVING, SLOPED BOULEVARDS, AND APPROACHES, ETC. TO REMAIN TO BE PROTECTED DURING CONSTRUCTION TO THE CITY OF BRANDON STANDARDS AT THE CONTRACTOR'S OWN COSTS.
10. ALL EXISTING ROADS, SIDEWALKS, FENCING, SLOPED BOULEVARDS, AND APPROACHES, ETC. DAMAGED DURING CONSTRUCTION TO BE REPAIRED TO THE CITY OF BRANDON STANDARDS AT THE CONTRACTOR'S OWN COSTS.
11. ALL EXISTING TREES, SHRUB BEDS, MULCH BEDS, AND SOD TO REMAIN TO BE PROTECTED DURING CONSTRUCTION TO CITY OF BRANDON STANDARDS AT THE CONTRACTOR'S OWN COSTS.
12. CONTRACTOR TO PROVIDE PARKING AREAS TO ACHIEVE REQUIRED NUMBER OF STALLS IN EACH ROW. STALL DIMENSIONS ARE AS NOTED. CONTRACTOR TO REPORT ANY DISCREPANCIES TO CONTRACT ADMINISTRATOR PRIOR TO CONSTRUCTION.
13. CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATIONS, REMOVALS, DISPOSALS, AND ROUGH GRADING AS REQUIRED TO CONSTRUCT ALL WORK AS SHOWN ON PLAN, DETAILS AND SPECIFICATIONS.
14. FILL ALL HOLES AND LOW AREAS TO DESIGN SUBGRADE WITH COMPACTED FILL (SUITABLE TO SURFACE FINISH). FOR SLOPED/PLANTED AREAS USE COMPACTED CLEAN EARTH FILL (SUITABLE FOR PLANT GROWTH). FOR PAVED AREAS USE COMPACTED GRANULAR BASE (REFER TO SPECIFICATIONS).
15. LIMIT OF RESGRADING TO BE CONFIRMED ON SITE.



No.	Revision	Date	By

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Project Manager	Project Leader
Designed by	Reviewed by
MN	2015-10-28
Drawn by	Date (yyyy-mm-dd)



Consultants

mcm
architects inc.

141 st. anne's road, winnipeg, manitoba R2M 2Z3
158-6th street, brandon, manitoba R7A 3K1

M c G O W A N · R U S S E L L

Project Title
WESTMAN KIWANIS COURT
PHASE 2

BRANDON MANITOBA

Sheet Title
LAYOUT PLAN

Scale	1:125
HCD Asset Number	Consultant Project Number
	2003
Project Number	Sheet Number
	L-1
	Revision

CLOSED BY INSTR. NO. D2826
FOURTH STREET

(20.117m WIDE)

PLANT LIST			
DECIDUOUS TREES			
A	3	MANCHURIAN ASH / FRAXINUS MANDSCHURICA	65mm cal. SPECIMEN, BAB, MACHINE CUT WITH MIN. 12 BRANCHES IN WELL BRANCHED HEAD, STRAIGHT TRUNK, MIN. HT. 4500mm, BRANCHING HT. 1800mm.
DECIDUOUS SHRUBS			
B	13	MORDEN AMBER DOGWOOD/ CORNUS ALBA 'MORDEN AMBER'	3 GAL. POT SPECIMEN, CONTAINER GROWN, WITH MINIMUM 5 STALKS IN WELL BRANCHED PLANT, MIN PLANT HT. OF 750mm.
C	40	WINDY BURNING BUSH/ EUONYMUS ALATUS COMPACTUS	3 GAL. POT SPECIMEN, CONTAINER GROWN, WITH MINIMUM 5 STALKS IN WELL BRANCHED PLANT, MIN PLANT HT. OF 500mm.
D	16	ANNABELLE HYDRANGEA/ HYDRANGEA ABORESCENS 'ANNABELLE'	2 GAL. POT SPECIMEN, CONTAINER GROWN, WITH MINIMUM 5 STALKS IN WELL BRANCHED PLANT, MIN PLANT HT. OF 500mm.
E	13	LITTLE DEW NINEBARK/ PHYSCARPUS OPILOFOLIUS 'DONNA MAE'	3 GAL. POT SPECIMEN, CONTAINER GROWN, WITH MINIMUM 5 STALKS IN WELL BRANCHED PLANT, MIN PLANT HT. OF 750mm.
F	22	MAGIC CARPET SPIREA/ SPIREA JAPONICA 'MAGIC CARPET'	2 GAL. POT SPECIMEN, CONTAINER GROWN, WITH MINIMUM 5 STALKS IN WELL BRANCHED PLANT, MIN PLANT HT. OF 300mm.
CONIFEROUS SHRUBS			
G	5	BLUE CHIP JUNIPER/ JUNIPERUS HORIZONTALIS 'BLUE CHIP'	3 GAL. POT SPECIMEN, CONTAINER GROWN, WITH MINIMUM 5 STALKS IN WELL BRANCHED PLANT, MIN PLANT SPI. OF 500mm.
H	3	MEDORA JUNIPER / JUNIPERUS SCOPULORUM 'MEDORA'	3 GAL. POT SPECIMEN, CONTAINER GROWN, FULL FORM, WELL BRANCHED, UPRIGHT WITH MAIN LEADER.
PERENNIALS / VINES			
J	31	KARL FOSTER GRASS/ CALAMAGROSTIS ACUTIFLORA 'KARL FOSTER'	1 GAL. POT SPECIMEN, CONTAINER GROWN, WELL DEVELOPED VIGOROUS ROOT SYSTEM, NO. 1 GRADE, MIN 2 YEAR GROWTH.
K	21	MAGNUS CONEFLOWER/ ECHINACEA PURPUREA 'MAGNUS'	1 GAL. POT SPECIMEN, CONTAINER GROWN, WELL DEVELOPED VIGOROUS ROOT SYSTEM, NO. 1 GRADE, MIN 2 YEAR GROWTH.
L	57	SUMMERWINE DAYLILY/ HEMEROCALLIS 'SUMMERWINE'	1 GAL. POT SPECIMEN, CONTAINER GROWN, WELL DEVELOPED VIGOROUS ROOT SYSTEM, NO. 1 GRADE, MIN 2 YEAR GROWTH.
M	101	VIRGINIA CREEPER/ PARTHENOISSUS QUINQUEFLOA	2 GAL. POT SPECIMEN, CONTAINER GROWN, WELL DEVELOPED VIGOROUS ROOT SYSTEM, NO. 1 GRADE, MIN 2 YEAR GROWTH.

PUBLIC LANE

BLOCK 71

ROSSER AVENUE

THIRD STREET

PLANTING LEGEND

- 800mm DEPTH PLANTING BED
- PROPOSED DECIDUOUS TREE
- PROPOSED CONIFEROUS SHRUB
- PROPOSED DECIDUOUS SHRUB
- PROPOSED PERENNIALS
- PLANTING DETAIL KEY
- QUANTITY PLANTING KEY
- DETAIL KEY
- DETAIL NUMBER SHEET NUMBER

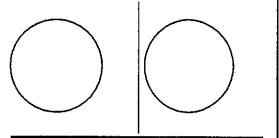
PLANTING NOTES

1. LOCATION OF ALL PLANT MATERIAL TO BE MARKED OUT ON SITE AND APPROVED BY CONTRACT ADMINISTRATOR PRIOR TO PLANTING.
2. TREES SPACING, UNLESS OTHERWISE NOTED: DECIDUOUS TREES: 6.0m MIN.
3. SHRUB CONIFEROUS SMALL SPACING: 1000mm O.C.
4. SHRUB SPACING SMALL DECIDUOUS SHRUBS: 600mm O.C.
5. SHRUB SPACING LARGE DECIDUOUS SHRUBS: 1500mm O.C.
6. ALL PLANT MATERIAL TO BE BEST QUALITY. PLANT MATERIAL TO BE REVIEWED ON SITE BY LANDSCAPE ARCHITECT ON SITE PRIOR TO PLANTING. PLANTS NOT ACCEPTABLE ARE TO BE REPLACED AND NEW PLANTS APPROVED PRIOR TO PLANTING. REPLACEMENTS ARE AT THE CONTRACTOR'S OWN COST.
7. ALL PLANTING EXCAVATIONS ARE TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLACEMENT OF DRAINAGE COURSE, FILTER FABRIC AND/OR SOIL.
8. ALL SUB DRAINS TO BE CONNECTED TO LIDS. REFER TO CIVIL DRAWINGS.
9. SHRUB BEDS AT PARKING AREA TO HAVE PLANTS SET BACK SO THAT THERE IS A 450mm WIDE MULCH EDGE ALONG CURB WITH FULL GROWTH OF PLANTS.
10. ALL PLANTING BEDS (SHRUB BED OR MULCH BED) WITH TREES MUST HAVE MINIMUM 800mm DEPTH PLANTING SOIL FOR THE ENTIRE AREA OF THE BED.
11. REFER TO WRITTEN SPECIFICATIONS.



No. Revision Date By

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Project Manager	Project Leader
Designed by	Reviewed by
MN	2015-10-29
Drawn by	Date (yyyy-mm-dd)



Consultants

mcm
architects inc.

141 st. anne's road, winnipeg, manitoba R2M 0Z3
159-Bth street, brandon, manitoba R7A 3K1

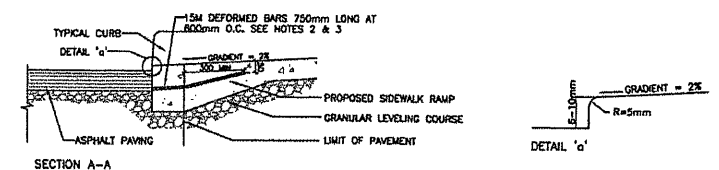
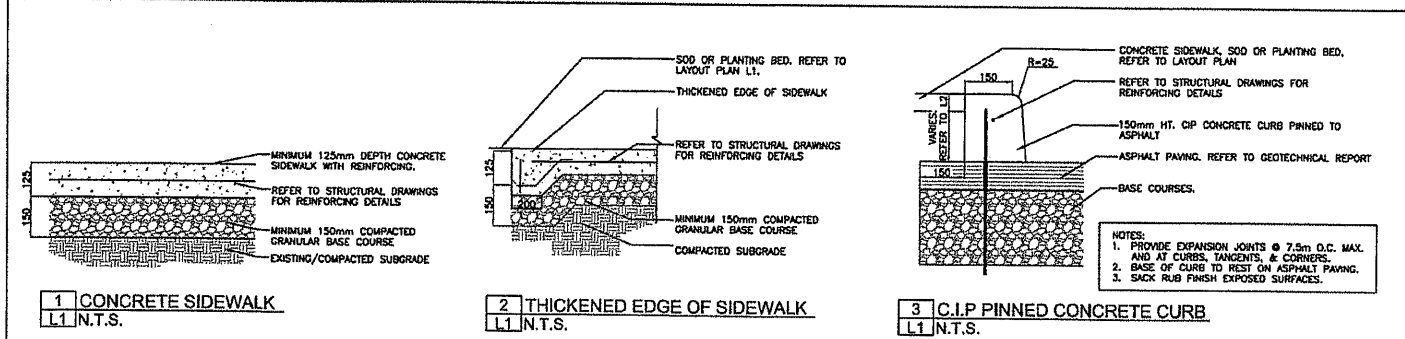


Project Title
WESTMAN KIWANIS COURT
PHASE 2

BRANDON MANITOBA

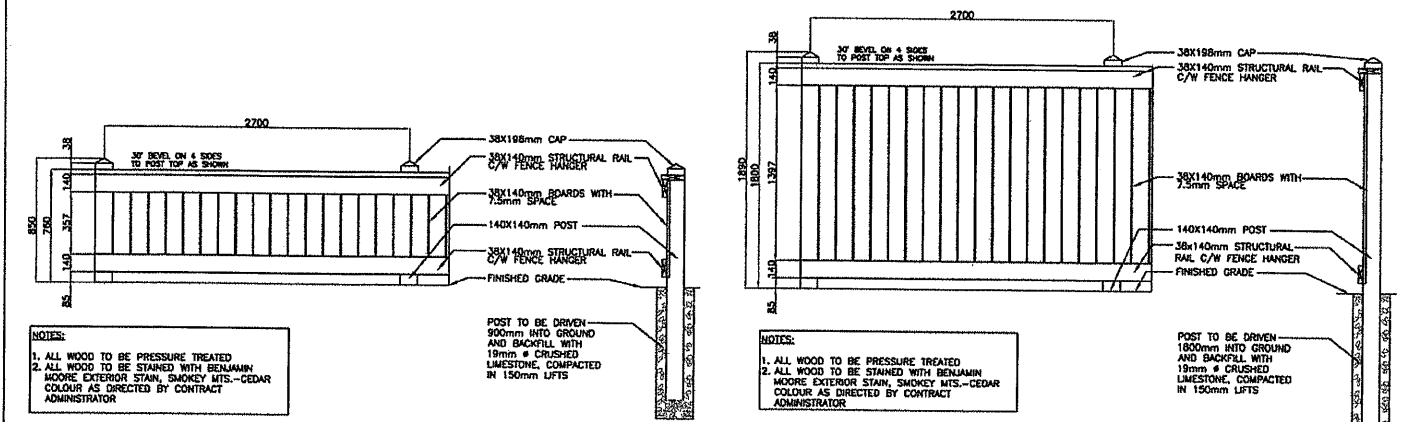
Sheet Title
PLANTING PLAN

Scale	1:125
HCD Asset Number	Consultant Project Number
	2003
Project Number	Sheet Number
	L-3
	Revision



NOTE:

- SIDEWALK RAMP SURFACE SHALL BE AS INDICATED ON PLAN DRAWINGS.
- 15M DEFORMED BARS SHALL BE PLACED PRIOR TO THE PLACING OF ANY CONCRETE. THE BARS SHALL BE BENT AS REQUIRED AND PLACED SO AS TO ENSURE A MINIMUM CONCRETE COVER OF 38mm.
- 15M DEFORMED BARS SHALL BE DEFORMED AND CONFORM TO CSA STANDARD C30.12 GRADE 300, UNLESS THE BARS ARE TO BE BENT AND LATER STRAIGHTENED IN THE FIELD, IN WHICH CASE THEY SHALL CONFORM TO ASTM A307 GRADE A BOLT STEEL (227.23 MPa YIELD STRESS).
- MAXIMUM SLOPE OF FLARED SIDES SHALL BE 1:10. REFER TO CSA B651, ARTICLE 4.4.4.2

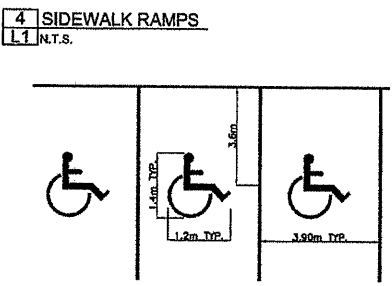


NOTE:

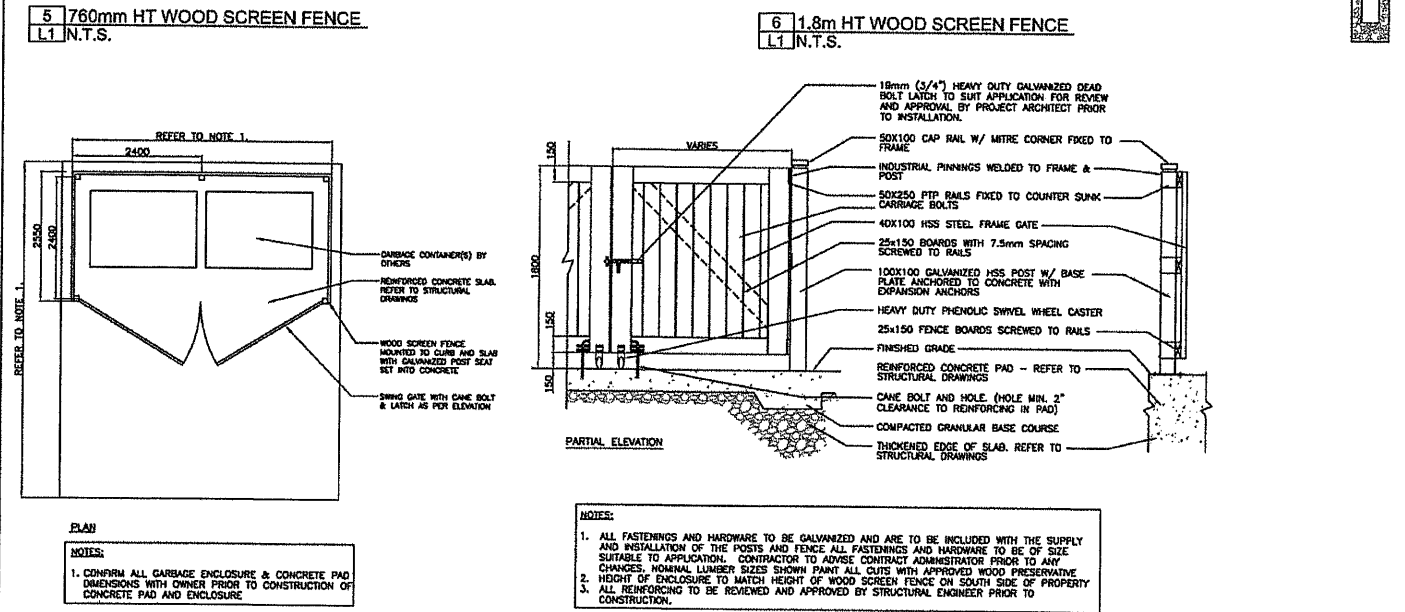
- ALL WOOD TO BE PRESSURE TREATED
- ALL WOOD TO BE STAINED WITH BENJAMIN MOORE EXTERIOR STAIN, SMOKEY MTS.-CEDAR COLOUR AS DIRECTED BY CONTRACT ADMINISTRATOR

NOTE:

- ALL WOOD TO BE PRESSURE TREATED
- ALL WOOD TO BE STAINED WITH BENJAMIN MOORE EXTERIOR STAIN, SMOKEY MTS.-CEDAR COLOUR AS DIRECTED BY CONTRACT ADMINISTRATOR



LENGTH AND WIDTH OF PARKING STALLS AS PER LAYOUT PLAN YELLOW COLOUR

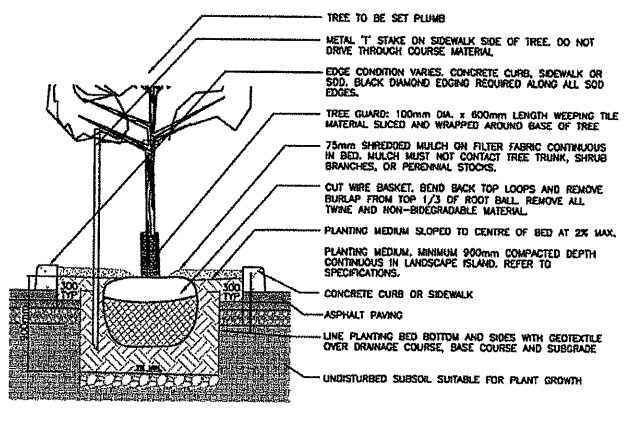


NOTE:

- CONFIRM ALL GARBAGE ENCLOSURE & CONCRETE PAD DIMENSIONS WITH OWNER PRIOR TO CONSTRUCTION OF CONCRETE PAD AND ENCLOSURE

NOTE:

- ALL FASTENINGS AND HARDWARE TO BE GALVANIZED AND ARE TO BE INCLUDED WITH THE SUPPLY AND INSTALLATION OF THE POSTS AND FENCE ALL FASTENINGS AND HARDWARE TO BE OF SIZE SUITABLE TO APPLICATION. CONTRACTOR TO ADVISE CONTRACT ADMINISTRATOR PRIOR TO ANY CHANGES. NOMINAL LUMBER SIZES SHOWN PAINT ALL CUTS WITH APPROVED WOOD PRESERVATIVE
- HEIGHT OF ENCLOSURE TO MATCH HEIGHT OF WOOD SCREEN FENCE ON SOUTH SIDE OF PROPERTY
- ALL REINFORCING TO BE REVIEWED AND APPROVED BY STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

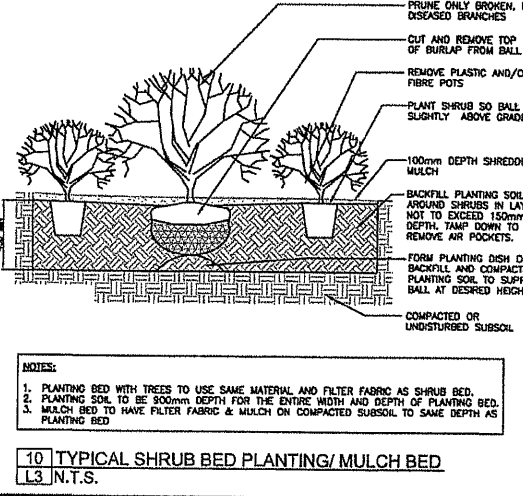


NOTE:

- PRUNE ONLY BROKEN, DEAD OR DISEASED BRANCHES
- CUT AND REMOVE TOP 1/2 OF BURLAP FROM BALL
- REMOVE PLASTIC AND/OR FIBRE POTS
- PLANT SHRUB SO BALL IS SLIGHTLY ABOVE GRADE
- 100mm DEPTH SHREDDED MULCH
- BACKFILL PLANTING SOIL AROUND SHRUBS IN LAYERS NOT TO EXCEED 150mm IN DEPTH. TAMP DOWN TO REMOVE AIR POCKETS.
- FORM PLANTING DISH OF BACKFILL AND COMPACTED PLANTING SOIL TO SUPPORT BALL AT DESIRED HEIGHT
- COMPACTED OR UNDISTURBED SUBSOIL

NOTE:

- PLANTING BED WITH TREES TO USE SAME MATERIAL AND FILTER FABRIC AS SHRUB BED.
- PLANTING SOIL TO BE 900mm DEPTH FOR THE ENTIRE WIDTH AND DEPTH OF PLANTING BED.
- MULCH BED TO HAVE FILTER FABRIC & MULCH ON COMPACTED SUBSOIL TO SAME DEPTH AS PLANTING BED



No. Revision Date By

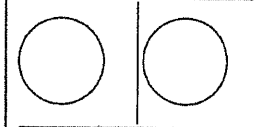
This drawing shall not be scaled. Follow given dimensions only.

The contractor shall verify himself that all dimensions and information shown are correct.

Prior to commencement of work report any discrepancies to the consultant.

Violations and modifications to work will not be allowed without written permission HCD.

This drawing shall not be used for construction purposes until approved by an authorized officer of HCD.



Project Manager Project Leader

DESIGNER JH

Designed by Reviewed by

DATE 2015-10-29

Drawn by Date (yyyy-mm-dd)

mcm architects inc.

141 St. Anne's Road, Winnipeg, Manitoba R2M 2Z3
158-8th Street, Brandon, Manitoba R7A 3K1



Project Title
WESTMAN KIWANIS COURT PHASE 2

BRANDON MANITOBA

Sheet Title
LAYOUT PLAN

Scale AS NOTED

HCD Asset Number Consultant Project Number
2003

Project Number Sheet Number Revision
L-4

PACIFIC

AVENUE

METRIC

SITE SURVEY

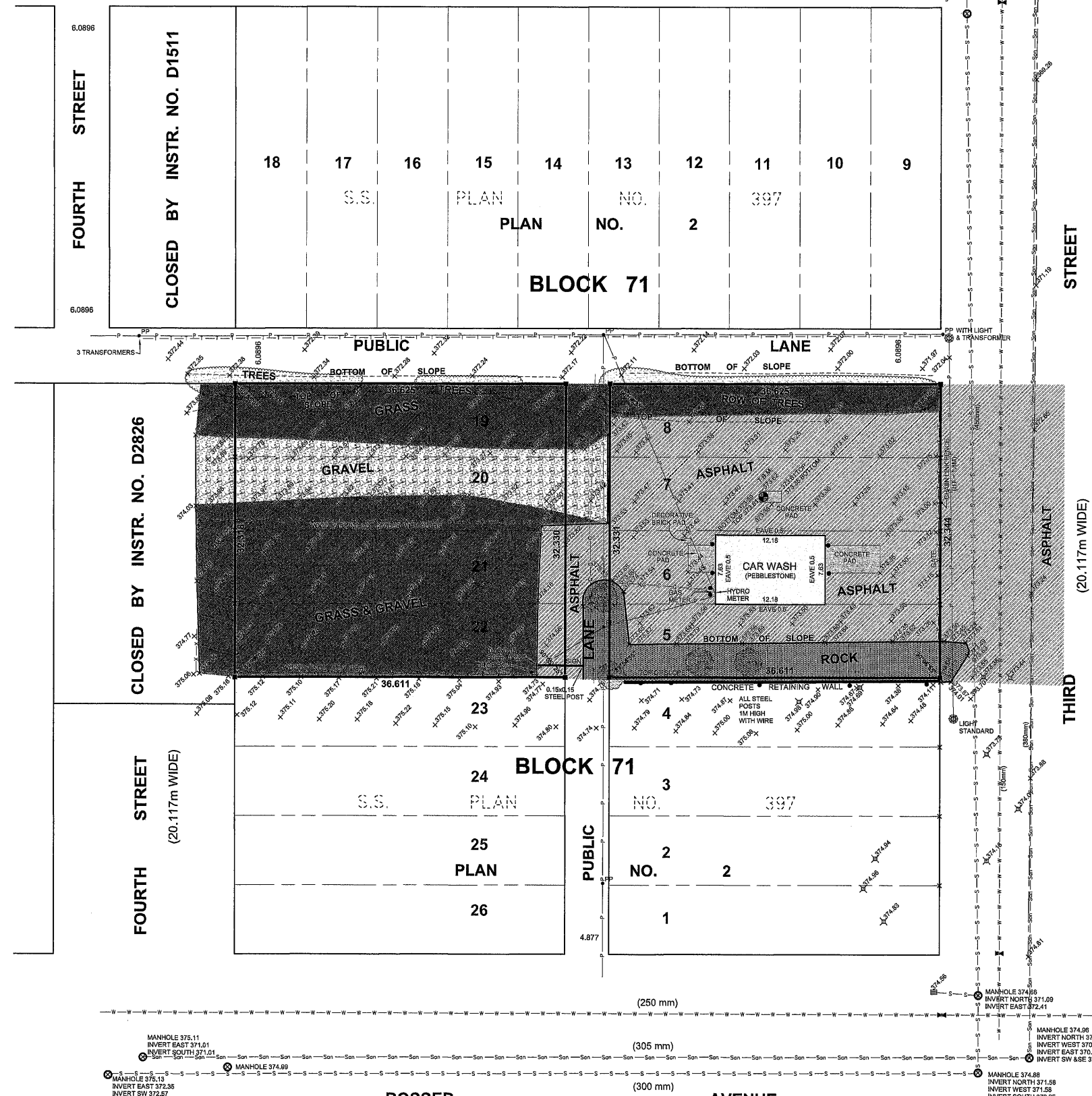
OF MANITOBA HOUSING DEVELOPMENT PROPERTY

IN E1/2 SEC.23, TWP. 10, RGE. 19 W.P.M.

BEING LOTS 5 TO 8 AND 19 TO 22 BLOCK 71 PLAN 2 BLTO (S.S. PLAN NO.397 BLTO)

CITY OF BRANDON MANITOBA

SCALE: 1:250



NOTES

- All distances are in meters and decimals thereof.
All plans referred to are on record in the Brandon Land Titles Office.
Elevations are geodetic and are referred to Manitoba Provincial Bench Mark 70-M-081 located on FIRST STREET Elevation = 370.415.
Elevation shot points shown thus ... x 373.85
Survey bars were found or placed at all points shown thus ...
Tree/ Bushes shown thus ...
Curb and gutter elevations shown thus ...
Monitoring wells were found at points shown thus ...
Water valves are shown thus ...
Bollards are shown thus ...
Catch basins shown thus ...
Hydro poles shown thus ...
Overhead powerlines shown thus ...
Overhead Manitoba Telephone System line shown thus ...
Watermains and size shown thus ... (200 mm)
Buried gas lines shown thus ...
Storm sewer lines and size shown thus ... (305 mm)
Domestic sewer lines and size shown thus ... (300 mm)

AFFIDAVIT

I, Kenneth William Baley, of the City of Brandon, Manitoba Land Surveyor, make oath and say that I did personally supervise the survey represented by this plan, that the survey was made between the 16th and 30th of August, 2011, and that the survey and plan are correct and true to the best of my knowledge and belief.

Signature of Kenneth William Baley, Manitoba Land Surveyor.

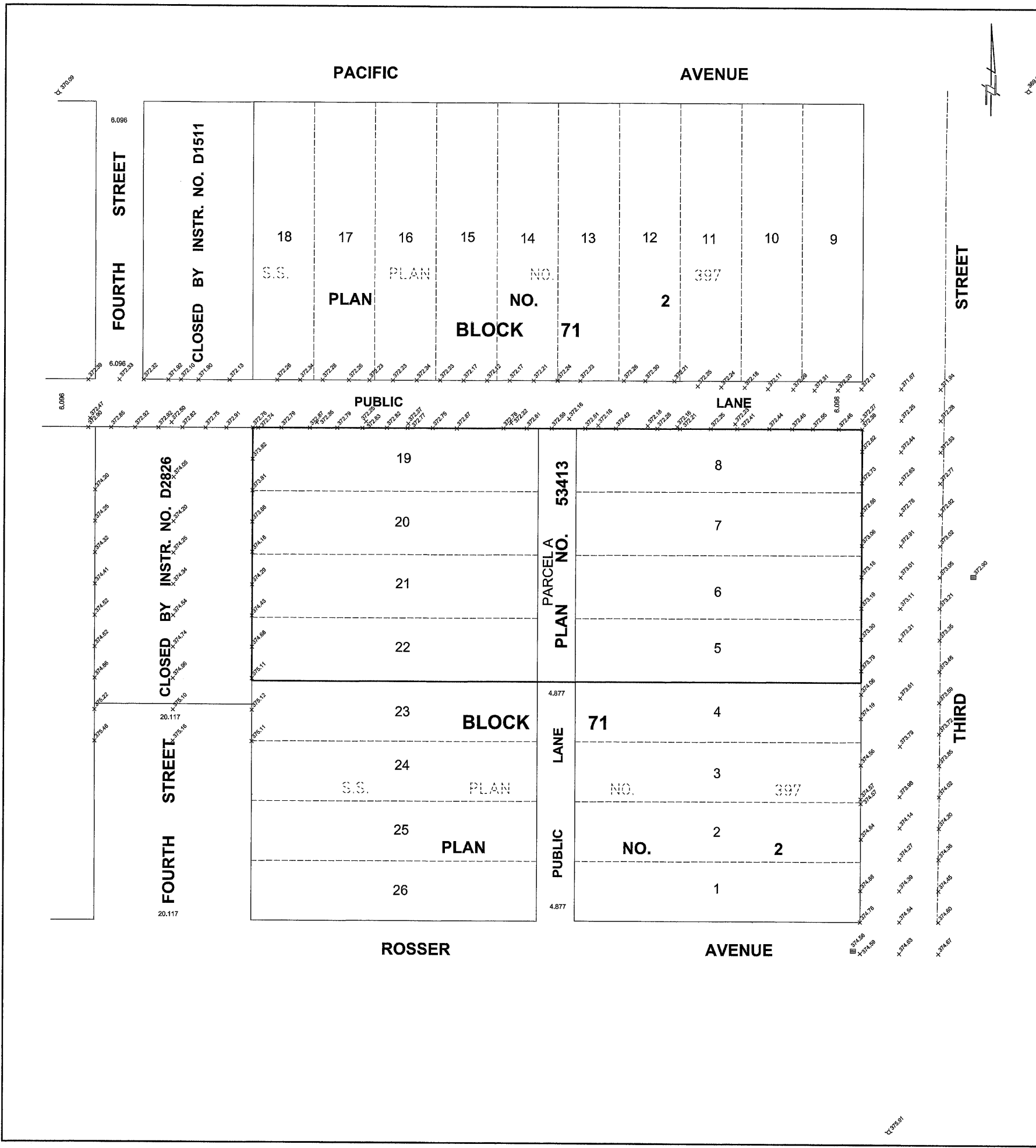
CT183213 REGISTERED OWNER: IRAN MANAGEMENT LTD.
LOTS 19, 20, 21 AND 22 BLOCK 71 PLAN 2 BLTO IN E 1/2 23-10-19 WPM
ENCUMBRANCES: CAVEAT NO. 84-5423
CT2151692 REGISTERED OWNER: IRAN MANAGEMENT LTD.
LOTS 5, 6, 7 AND 8 BLOCK 71 PLAN 2 BLTO
EXC ALL MINES AND MINERALS AS SET FORTH IN TRANSFER NO. R137801
IN E 1/2 23-10-19 WPM
NO ENCUMBRANCES



UNDERGROUND SERVICE INFORMATION SUPPLIED BY THE CITY OF BRANDON AND SHOULD BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION.
ON SITE UNDERGROUND SERVICES WERE LOCATED BY THE APPLICABLE UTILITY AND ALTUS GEOMATICS MANITOBA ACCEPTS NO RESPONSIBILITY FOR THEIR LOCATION.
PRIOR TO CONSTRUCTION PLEASE CONTACT INDIVIDUAL UTILITY COMPANIES.
IF THERE ARE DISCREPANCIES BETWEEN THE HARD COPY AND THE DIGITAL FILE, THE INFORMATION CONTAINED WITHIN THE HARD COPY SHALL GOVERN.

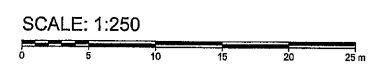
Table with columns: No., DATE, REVISION DESCRIPTION. Row 0: Sept 9, 2011, ISSUED.

Altus Geomatics Manitoba logo and contact information. 100-188-11TH STREET BRANDON, MANITOBA R7A 4J4. Toll Free: 1-800-465-6233 www.altusgeomaticsmb.com. JOB NO. 143602. F.B.445 PG.124-130 MT/acad

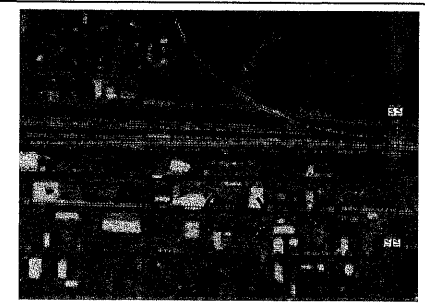


SITE SURVEY
 OF MANITOBA HOUSING DEVELOPMENT PROJECT IN
E 1/2 SEC.23 TWP.10 RGE.19 WPM
 BEING LOTS 5 TO 8 BOTH INCLUSIVE AND 19 TO 22 BOTH INCLUSIVE BLOCK 71 PLAN 2 BLTO
 (S.S. PLAN NO. 397 BLTO) AND PARCEL A PLAN NO. 53413

CITY OF BRANDON
 MANITOBA



- LEGEND:**
- All distances are in metres and decimals thereof.
 - All plans referred to are on record in the Brandon Land Titles Office.
 - Elevations are geodetic and are referred to Manitoba Provincial Bench Mark 79-M-081 located on First Street
Elevation: 370.415
 - Spot Elevations: - - - - -
 - Catch Basin: - - - - -
 - Fire Hydrant: - - - - -
 - Property Line: - - - - -
 - Centre Line: - - - - -



I certify that the survey represented by this plan is correct to the best of my knowledge and was completed on the 8th day of February, 2015.



Ken W. Bailey
 Manitoba Land Surveyor

CERTIFICATE OF TITLE:
 C.T. No. 2621032 BLTO (1 OF 2)
 Registered Owner: THE MANITOBA HOUSING AND RENEWAL CORPORATION
 LOTS 5 TO 8 BOTH INCLUSIVE BLOCK 71 PLAN 2 BLTO
 EXC ALL MINES AND MINERALS AS SET FORTH IN TRANSFER R137901
 IN E 1/2 23-10-19 WPM
 Encumbrances: There are no encumbrances registered against the above Certificate of Title.
 C.T. No. 2627135 BLTO (2 OF 2)
 Registered Owner: THE MANITOBA HOUSING AND RENEWAL CORPORATION
 FIRSTLY: LOTS 19 TO 22 BOTH INCLUSIVE BLOCK 71 PLAN 2 BLTO
 IN E 1/2 23-10-19 WPM
 SECONDLY: "PARCEL A" PLAN 53413 BLTO
 EXC ALL MINES AND MINERALS AND OTHER MATTERS AS SET FORTH IN THE CROWN LANDS ACT
 IN SE 1/4 23-10-19 WPM
 Encumbrances: Easement Nos. 1352150 and 1352151 are registered against the above Certificate of Title.

UNDERGROUND SERVICE INFORMATION SUPPLIED BY THE CITY OF BRANDON AND SHOULD BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION. ON SITE UNDERGROUND SERVICES WERE LOCATED BY THE APPLICABLE UTILITY AND ALTUS GEOMATICS MANITOBA ACCEPTS NO RESPONSIBILITY FOR THEIR LOCATION, PRIOR TO CONSTRUCTION IT IS IMPERATIVE THAT INDIVIDUAL UTILITY COMPANIES ARE CONTACTED FOR A LOCATE. IF THERE ARE DISCREPANCIES BETWEEN THE HARD COPY AND THE DIGITAL FILE, THE INFORMATION CONTAINED WITHIN THE HARD COPY SHALL GOVERN.

NO.	Issued	CF - ID - FG	February 20, 2015
	REVISIONS	INITIALS	DATE

100-158 11th Street
 Brandon, Manitoba
 R7A 4J4
 Tel: 1-800-368-4755
 www.altusgeomatics.mb.ca

FB: 478/102
 Drawing Name: 184070_T_R0
 Project No.: 184070_BD
 Plan Date: February 20, 2015