

**Conditional Use**

Name of Property Owner: 7111231 MANITOBA LTD.  
 Name of Applicant: TONY BEATONE  
 Civic Address of Property: 427 - 23RD STREET.  
 Legal Description of Property: LOTS 26/28 BLOCK 46 PLAN 15

**References:**

BAPD Development Plan By-law No. 95/01/12  
 Applicable Secondary Plan By-law  
 City of Brandon Zoning By-Law No. 7124

*\*\*Prior to submitting a formal application, the Planning & Building Safety Department strongly recommends that all applicants meet with a Community Planner to complete a pre-application review\*\**

**Conditional Use Request:**

*As the applicant, I confirm and verify to the City that the information provided in this application is true and complete, and I undertake to observe and perform all provisions of The Planning Act, the Development Plan, the Zoning By-law, and the provisions of other relevant laws, by-laws or agreements.*

Signature of Applicant: [Signature] Date: Apr. 1/16  
 Address: 46 GARWOOD DR. Postal Code: R7A2K4  
 Phone No.: (Primary) 761-9778 (Secondary) 727-4287  
 Email Address: TONY BEATONE@HOTMAIL.CA  
 Signature of Owner: [Signature] Date: Apr. 1/16  
 Address: \_\_\_\_\_ Postal Code: \_\_\_\_\_  
 Phone No.: (Primary) \_\_\_\_\_ (Secondary) \_\_\_\_\_  
 Email Address: \_\_\_\_\_

The personal information which you are providing is being collected under the authority of The Planning Act and will be used for the purpose of approving this application. Information is also being collected for the purpose of statistical reporting. It is protected by the Protection of Privacy provisions of The Freedom of Information and Protection of Privacy Act. If you have any questions about the collection and/or use of information, contact Jennifer Houlihan, FIPPA Coordinator, City of Brandon Planning & Building Safety Department, 638 Princess Avenue Brandon, Manitoba, R7A 0P3, Telephone 204-729-2116

<b>FOR PLANNING DEPARTMENT USE ONLY:</b>			
Community Planner:	<u>AK</u>	Planning File No.:	<u>C-04-16-B</u> CityView No.: <u>2016-42</u>
Date Application Received:	<u>Apr 5/16</u>	Payment Date:	<u>Apr 5/16</u> Receipt No.: <u>2016-3646</u> Amount: <u>\$ 775.00</u>
Conditional Use - Application			REV 01/2016

April 5, 2016

**Community Planner**  
**City of Brandon Planning & Building Department**  
638 Princess Avenue  
Brandon, MB R7A 0P3

Dear Sirs:

**Re: 427 23<sup>rd</sup> Street, Brandon, MB - Conditional Use Application**

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We, 7111231 Manitoba Ltd., would like to request conditional use approval, on the above noted property, to allow for the construction of a special needs housing project for five (5) ambulatory residents in a single story dwelling.

The property in question is located mid-block on 23<sup>rd</sup> Street directly across from Sioux Valley School and ½ block north of Victoria Avenue, in Brandon. The immediate residences within the area are a mixed range of single family and multi-family housing with single story bungalow, bi-level, 2 storey and 1.5 storey style homes, of varied age.

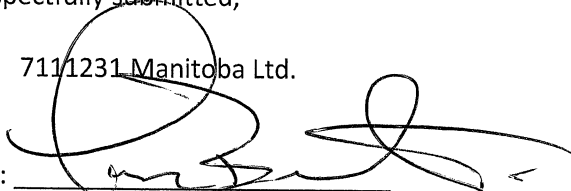
The proposed project would consist of one single story, residential dwelling of approximately 2990 square feet. It will consist of six (6) bedrooms (5 special needs clients plus one 24 hour supervisor), fully wheel chair accessible with alarmed security. We feel this type of construction would be consistent with the neighboring homes, although current zoning only allows for less than four (4) residents without conditional use requirements. Our proposal, in our opinion, does meet all other zoning and bylaw requirements as set forth in the City of Brandon Zoning By-law 7124, including all required setbacks and parking requirements.

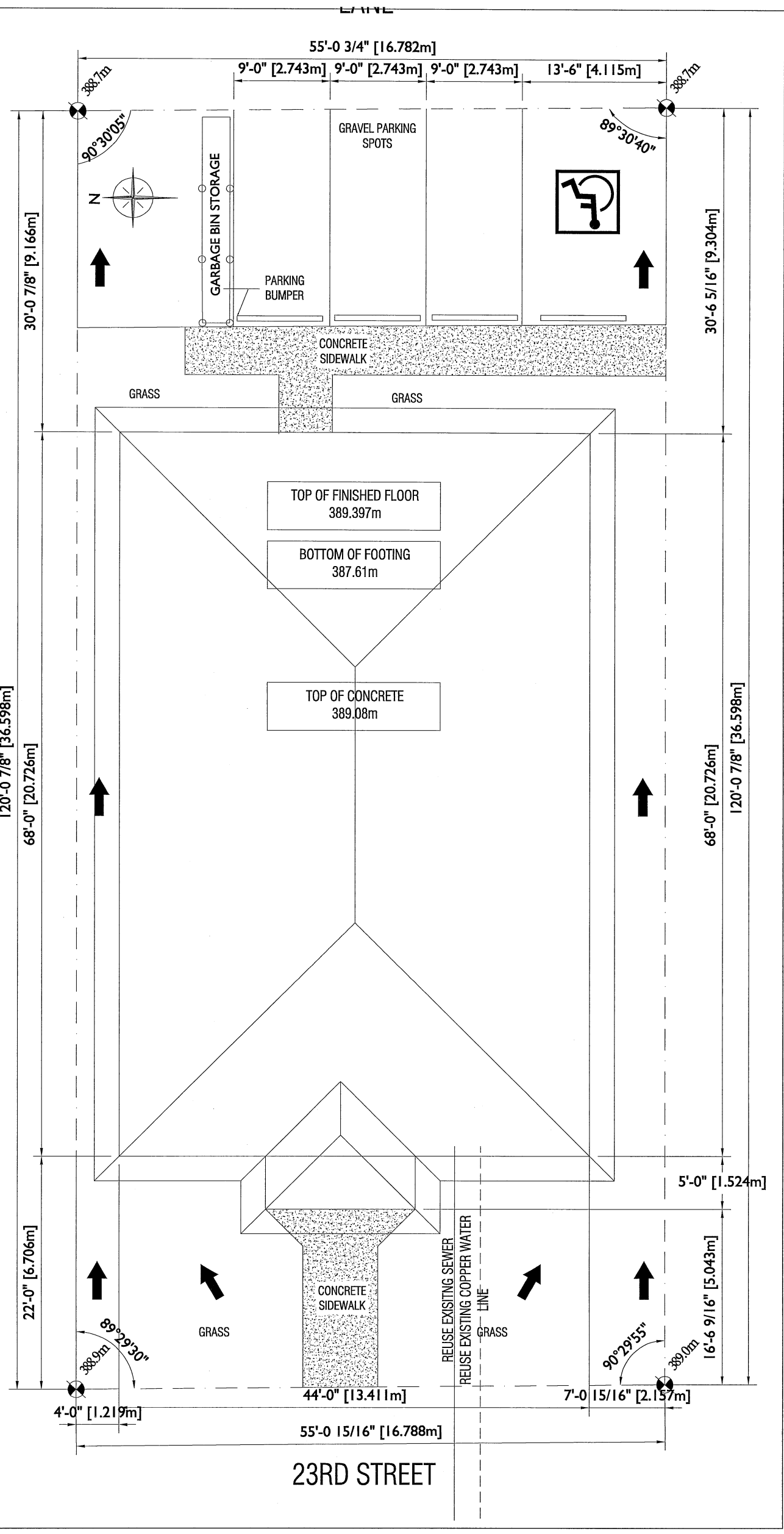
We appreciate your time and consideration for this condition use approval application.

It is therefore, our request that this condition use be approved to allow for five (5) ambulatory residents for this special needs housing project.

Respectfully submitted,

7111231 Manitoba Ltd.

Per:   
Tony Bertone, Director & Officer



**NORTH EXPOSING BUILDING FACE**  
 612 SQ.FT. [56.86m<sup>2</sup>]  
 LIMITING DISTANCE - 4' [1.2m] (PROPERTY LINE)  
 ALLOWABLE AREA OF UNPROTECTED OPENINGS - 7%  
 ACTUAL OPENINGS 40 SQ FT [3.71M<sup>2</sup>] OR 6.5%

**SOUTH EXPOSING BUILDING FACE**  
 612 SQ.FT. [56.86m<sup>2</sup>]  
 LIMITING DISTANCE - 7' [2.15m] (PROPERTY LINE)  
 ALLOWABLE AREA OF UNPROTECTED OPENINGS - 9%  
 ACTUAL OPENINGS 53.3 SQ FT [4.92M<sup>2</sup>] OR 8.7%

**EAST EXPOSING BUILDING FACE**  
 396 SQ.FT [36.79m<sup>2</sup>]  
 LIMITING DISTANCE - 30' [9.1m] (PROPERTY LINE)  
 ALLOWABLE AREA OF UNPROTECTED OPENINGS - 100%  
 ACTUAL OPENINGS 72 SQ FT [6.68M<sup>2</sup>] OR 18.2%

**WEST EXPOSING BUILDING FACE**  
 396 SQ.FT [36.79m<sup>2</sup>]  
 LIMITING DISTANCE - 22' [6.7m] (PROPERTY LINE)  
 ALLOWABLE AREA OF UNPROTECTED OPENINGS - 69%  
 ACTUAL OPENINGS 88 SQ FT [8.16M<sup>2</sup>] OR 22.2%

**AMPLY**  
 DESIGN

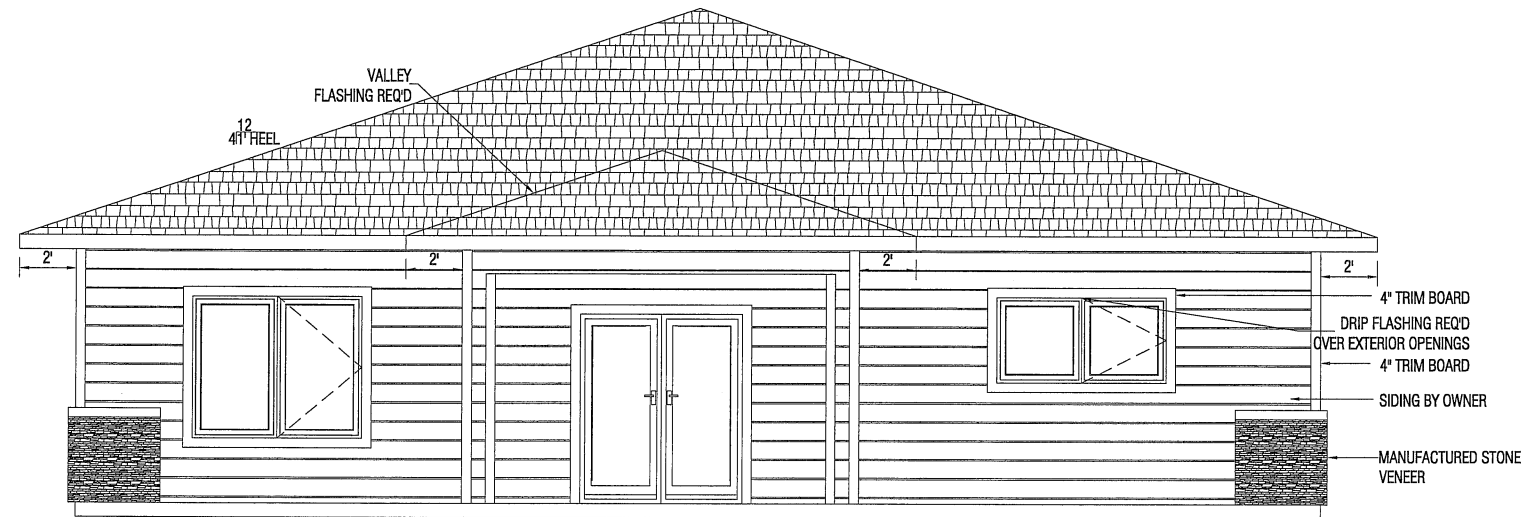
2314 McDONALD AVENUE | BIRMGHAM, AL 35204-573-4137

SITE: 427 23RD STREET

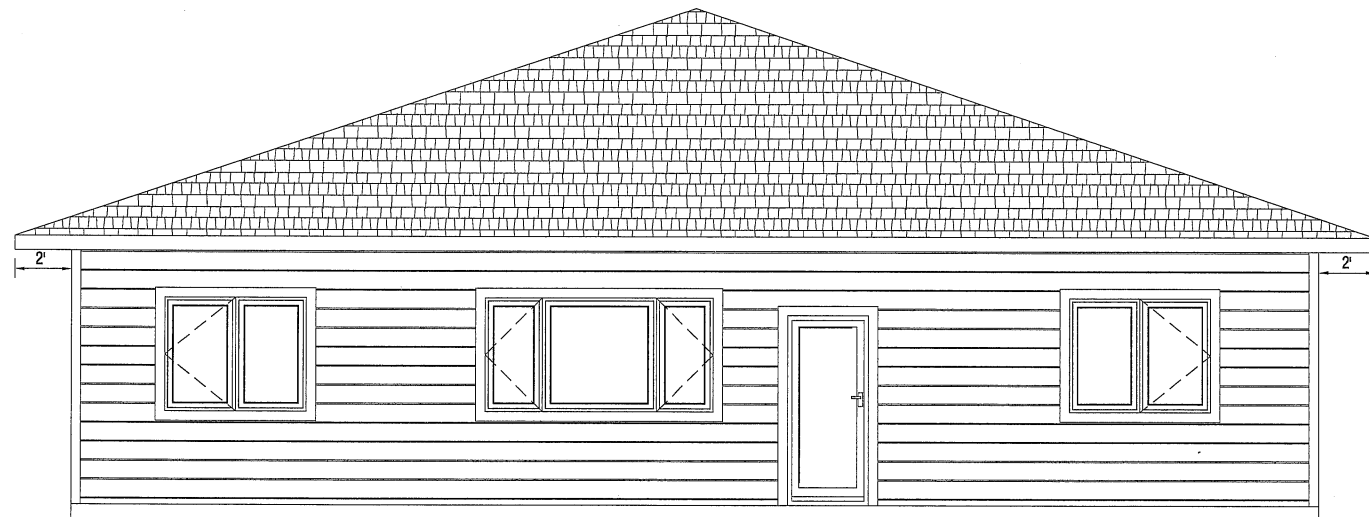
TITLE: SITE PLAN

SCALE	DATE	DESIGNER	CHECKER
1/4" = 1'	03/13/16	JH	JH
PROJECT NO.	DATE	DESIGNER	CHECKER
2016-004	SP	JH	JH

CONTRIBUTOR SHALL VERIFY ALL DIMENSIONS AS SHOWN. ALL DIMENSIONS SHALL BE REPORTED TO THE DESIGNER FOR CLARIFICATION BEFORE RESUBMITTING.



WEST ELEVATION

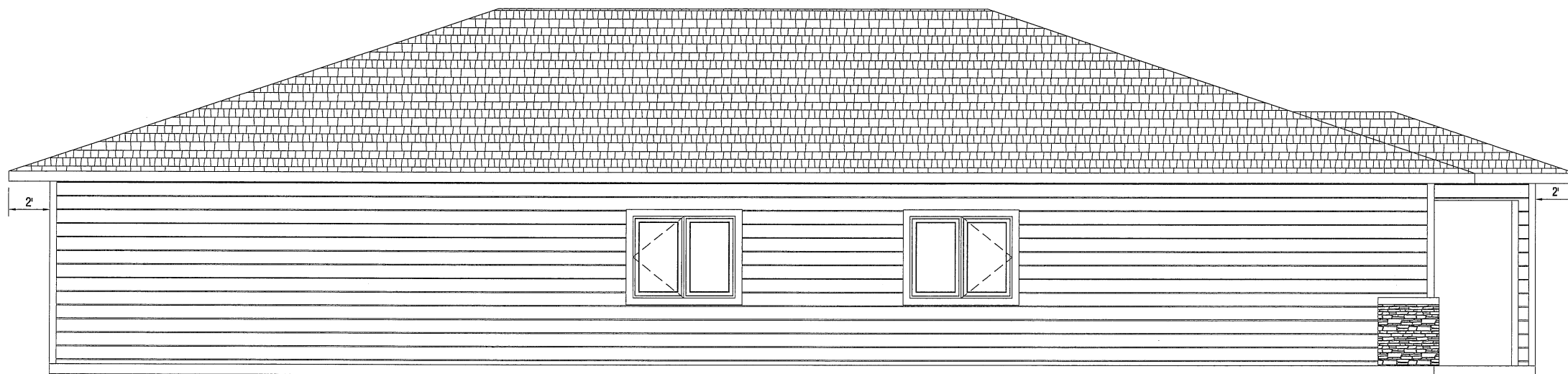


EAST ELEVATION

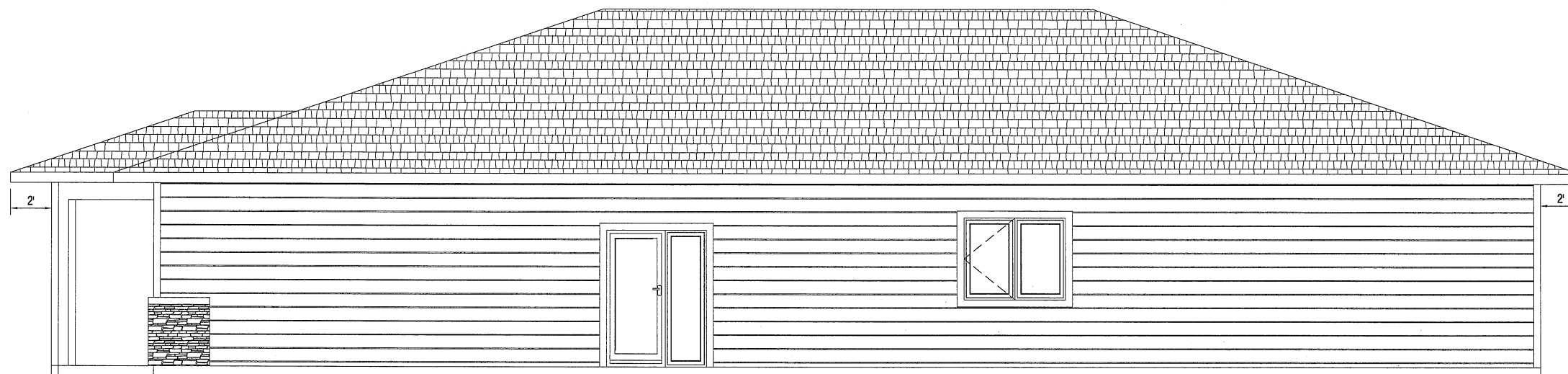
**AMPLIFY**  
DESIGN

2314 McDonald Avenue | Brandon, MN | 204-573-4137

SITE: 427 23RD STREET			
TITLE: ELEVATIONS			
SCALE: 1/4" = 1'	DATE: 03/13/16	DRAWN: JH	CHECKED: JH
PROJECT NO: 2016-004	PAGE: A1	REVISION:	
<small>CONTRACTOR SHALL RELY ON WRITTEN DIMENSIONS AS GIVEN. CONTRACTOR TO NOTIFY AMPLIFY DESIGN FOR ANY CLARIFICATION. ALL DIMENSIONS SHALL BE FIELD VERIFIED AND ANY DISCREPANCIES SHALL BE REPORTED TO THE DRAFTSMEN FOR CLARIFICATION BEFORE RESUMING WORK.</small>			



NORTH ELEVATION



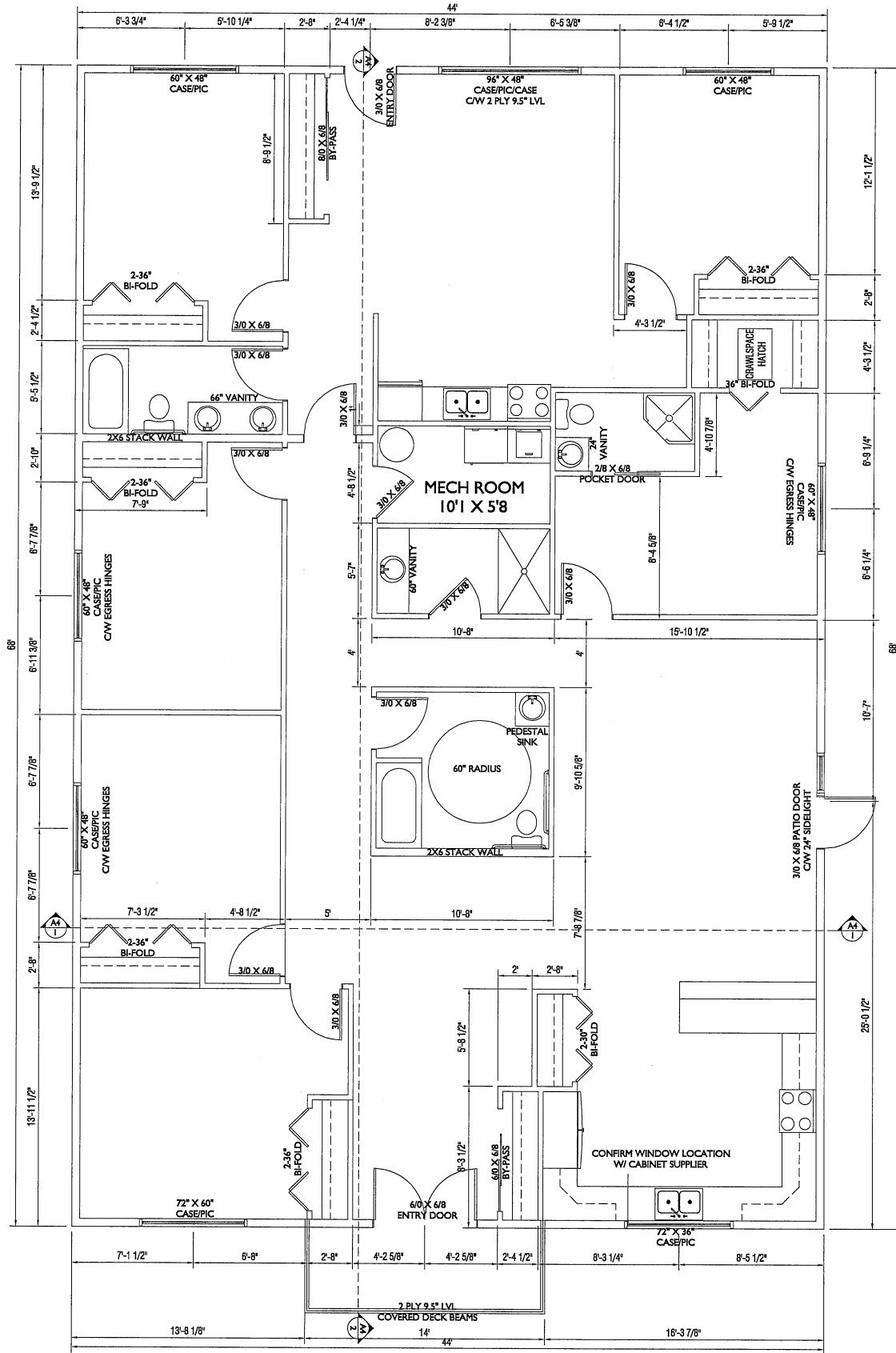
SOUTH ELEVATION

**AMPLIFY**  
DESIGN

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SITE:		427 23RD STREET	
TITLE:		ELEVATIONS	
SCALE:	DATE:	DRAWN:	CHECKED:
3/8" = 1'	03/13/16	JH	JH
PROJECT NO:	PAGE:	REVISION:	
2016-004	A2		

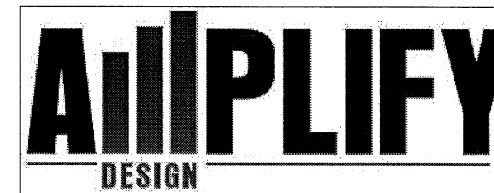
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MAIN FLOOR 2992 SQ FT

**GENERAL NOTES:**

1. ALL CONCRETE BELOW GRADE REQUIRES DAMP-PROOFING AS PER ART 9.13.2 OF THE MANITOBA BUILDING CODE 2010
2. EXTERIOR STAIRS AND LANDINGS, WHERE DISTANCE FROM TOP OF STAIRS OR LANDING TO THE FINISHED GRADE IS GREATER THAN 24" BUT LESS THAN 72", REQUIRE GUARD RAILS 36" HIGH MEASURED VERT. FROM A LINE DRAWN THROUGH THE OUTSIDE EDGES OF STAIR NOSINGS & 36" HIGH AT LANDINGS. WHERE THE DISTANCE FROM TOP OF STAIRS OR LANDING TO FINISHED GRADE IS GREATER THAN 72", GUARDS FOR STAIRS SHALL NOT BE LESS THAN 36" HIGH MEASURED VERT. FROM A LINE DRAWN THROUGH THE OUTSIDE EDGES OF STAIR NOSINGS & 42" HIGH AT LANDINGS OR BALCONIES. ALL GUARDS WITHIN DWELLING UNITS SHALL BE 36" HIGH AT STAIRS AND LANDINGS.
3. SMOKE ALARMS SHALL BE INSTALLED BY PERMANENT CONNECTION TO AN ELECTRICAL CIRCUIT AND SHALL HAVE NO DISCONNECT SWITCH BETWEEN THE OVERCURRENT DEVICE AND THE SMOKE ALARM, AS PER ART 9.10.1.4 OF THE MBC2010  
SMOKE ALARMS MUST BE INSTALLED ON EVERY FLOOR LEVEL, INCLUDING BASEMENTS, THAT IS 24" OR MORE ABOVE OR BELOW THE ADJACENT FLOOR LEVEL. SMOKE ALARMS ARE LOCATED WITHIN 16' OF ALL BEDROOM DOORS. DISTANCE FROM ANY POINT ON A FLOOR LEVEL TO A SMOKE ALARM SHALL NOT EXCEED 49'.  
SMOKE ALARMS SHALL CONFORM TO CAN /ULC-S531
4. A CARBON MONOXIDE ALARM IS REQUIRED IN A RESIDENTIAL OCCUPANCY THAT SHARES A WALL OR FLOOR/CEILING ASSEMBLY WITH A STORAGE GARAGE OR THAT IS ADJACENT TO AN ATTIC OR CRAWL SPACE TO WHICH THE STORAGE GARAGE IS ADJACENT, A CARBON MONOXIDE DETECTOR SHALL BE INSTALLED AS PER ART. 9.32.3.9 OF MBC2010
5. EAVESTROUGHS WITH DOWNSPOUTS AND EXTENSIONS ARE REQUIRED TO DRAIN WATER AWAY FROM THE BUILDING. THE FINISHED GRADE AROUND THE BUILDING SHALL BE SLOPED AWAY FROM THE BUILDING TO HELP IN THE DRAINAGE OF WATER.
6. RESIDENTIAL STAIR DIMENSIONS:  
RISE = 7.874" MAX. HEIGHT  
RUN = 8.268" MIN. TREAD (9.252" W/ NOSING)
7. VENTILATION REQUIREMENTS:  
-THE OUTDOOR AIR SUPPLY DUCT MUST BE CONNECTED TO THE RETURN AIR PLENUM NOT LESS THAN 10' UPSTREAM OF THE FURNACE OR HAVE AN ACCEPTABLE MIXING DEVICE.  
-THE PRINCIPLE EXHAUST FAN MUST BE CONTROLLED BY A MANUAL SWITCH LOCATED CENTRALLY IN THE DWELLING UNIT AND CLEARLY MARKED "VENTILATION FAN", AND THE CONTROL MUST INCLUDE PROVISIONS TO ALLOW REDUCTION OF THE FAN'S FLOW TO WITHIN 50% OF THE TOTAL VENTILATION CAPACITY.  
-BATHROOM AND BEDROOM DOORS REQUIRE AN UNDER CUT OF 1/2 OF AN INCH.  
-THE KITCHEN PRINCIPAL EXHAUST DUCT IS REQUIRED TO BE FITTED WITH A GREASE FILTER.  
AS PER ART 9.32 MBC2010
8. ATTIC ACCESS HATCH REQUIRED - 20" X 28" MIN. DIMENSIONS (LOCATION DETERMINED BY OWNER/CONTRACTOR).
9. FABRICATOR'S DRAWINGS OF FLOOR AND ROOF SYSTEM CERTIFIED BY A PROFESSIONAL ENGINEER, LICENSED TO PRACTICE IN MANITOBA, WILL BE PROVIDED IF REQUIRED.
10. ALL BEDROOM WINDOWS ARE REQUIRED TO PROVIDE AN UNOBSTRUCTED OPENING WITH AN AREA NOT LESS THEN 3.8FT2 AND NO DIMENSION LESS THEN 15" AS PER ART 9.9.10.1 OF MBC2010
11. 'CAB-OVER' FLOOR JOISTS MUST BE INSULATED TO MIN. R-28 AND VAPOR BARRIER INSTALLED SUFFICIENTLY CLOSE TO WARM SIDE AS PER 9.25.4.3 OF MBC2010
12. DECKS THAT HAVE ANY ONE OF THE FOLLOWING MENTIONED ARTICLES MUST BE CONSTRUCTED AS PER ARTICLE 9.12 (2005 NATIONAL BUILDING CODE):  
1. MORE THAN ONE STOREY  
2. WITH A ROOF OVER  
3. MORE THAN 592 SQ.FT.  
4. DISTANCE FROM THE GROUND LEVEL TO THE UNDERSIDE OF DECK JOISTS EXCEED 24"; OR  
5. IS ATTACHED TO ANOTHER STRUCTURE, UNLESS IT CAN BE DETERMINED THAT THE DIFFERENTIAL MOVEMENT WILL NOT ADVERSELY AFFECT THE PERFORMANCE OF THAT STRUCTURE.
13. LINTELS SUBJECT TO CONCENTRATED LOADS TO BE DESIGNED & SUPPLIED BY TRUSS MANUFACTURER
14. FLOORS ON GROUND SHALL BE EQUIPPED WITH ROUGH IN FOR SUBFLOOR DEPRESSURIZATION SYSTEM AS PER 9.13.4.3 OF THE MBC2010. CONSISTS OF A 4" PIPE INSTALLED THROUGH THE FLOOR, TO THE CENTER OF THE FLOOR AND CAPPED ABOVE THE FLOOR WITH A CAP LABELED "DEPRESSURIZATION SYSTEM"



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2016-004	A3		

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